

# AGENDA



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
APRIL 9, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(IV) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- (2) Approval of minutes for the March 12, 2024 Planning and Zoning Commission meeting.

- (3) Approval of minutes for the March 26, 2024 Planning and Zoning Commission meeting.

(4) **P2024-009 (RYAN MILLER)**

Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a Final Plat for Lots 1-8, Block A, People Tract Addition being a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary.

(5) **P2024-011 (HENRY LEE)**

Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LLC for the approval of a Final Plat for the Terraces Subdivision consisting of 82 single-family residential lots on a 21.648-acre tract of land being identified as a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, generally located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.

(6) **SP2024-016 (HENRY LEE)**

Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a Site Plan for the Terraces Subdivision consisting of 82 single-family residential lots on a 21.648-acre tract of land being identified as a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, generally located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.

(V) PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

(7) **Z2024-008 (ANGELICA GUEVARA) [THE APPLICANT IS REQUESTING TO WITHDRAW]**

Hold a public hearing to discuss and consider a request by Marisol Ortiz on behalf of Ricardo Alonso for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.121-acre parcel of land identified as Lot 49 of the

Canup's Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 302 E. Bourn Street, and take any action necessary.

(8) **Z2024-010 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a New Motor Vehicle Dealership for Cars and Light Trucks to allow the expansion of an existing New Motor Vehicle Dealership on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

(9) **Z2024-011 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Alan Wyatt on behalf of PSB Indemnity Family, LTD PTRN for the approval of a Specific Use Permit (SUP) to allow a structure in excess of 36-feet in the Scenic Overlay (SOV) District to allow the construction of a flag pole on a 1.158-acre parcel of land identified as a Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 510 Turtle Cove Boulevard, and take any action necessary.

(10) **Z2024-012 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Preston Harris of Harris Family Lake House, LLC for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and take any action necessary.

(11) **Z2024-013 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

(12) **Z2024-014 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Barbara Lee for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a ten (10) acre tract of land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 628 Cornelius Road, and take any action necessary.

(13) **Z2024-015 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary.

(VI) **ACTION ITEMS**

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

(14) **SP2024-006 (HENRY LEE) [THE APPLICANT HAS POSTPONED TO THE APRIL 30, 2024 MEETING]**

Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an Office/Warehouse Building on a 0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

(15) **SP2024-008 (ANGELICA GUEVARA) [THE APPLICANT HAS POSTPONED TO THE MAY 14, 2024 MEETING]**

Discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Site Plan for General Retail Building on a 0.7621-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

(16) **SP2024-009 (BETHANY ROSS)**



Discuss and consider a request by Justin Toon of Industrial Reserve on behalf Reserve Capital – Rockwall Industrial SPE, LLC for the approval of an Amended Site Plan for a Warehouse/Distribution Center on an 18.48-acre tract of land identified as Tracts 1, 1-3 & 1-7 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1725 SH-276, and take any action necessary.

(17) **SP2024-010 (HENRY LEE) [THE APPLICANT HAS POSTPONED TO THE APRIL 30, 2024 MEETING]**

Discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land, LLC for the approval of a Site Plan for a Golf Driving Range on an 9.942-acre tract of land being portions of a larger 18.131-acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the terminus of Fit Sport Life Boulevard, and take any action necessary.

(18) **SP2024-011 (HENRY LEE)**

Discuss and consider a request by Bobby Pross of Pross Design Group on behalf of Jaymie Bullard of USEF Rockwall Owner, LLC for the approval of an Amended Site Plan for a Warehouse/Distribution Facility on a 12.101-acre tract of land identified as Lot 4, Block A, Rockwall Park 30 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located on the southside of the IH-30 Frontage Road east of the intersection of Corporate Crossing and IH-30, and take any action necessary.

(19) **SP2024-012 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Frank Conselman for the approval of a Site Plan for an Industrial/Warehouse Building on a 6.68-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP-OV) District, addressed as 1735 Airport Road, and take any action necessary.

(20) **SP2024-013 (BETHANY ROSS) [THE APPLICANT HAS POSTPONED TO THE APRIL 30, 2024 MEETING]**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Margie Verhagen of Meals on Wheels for the approval of a Site Plan for a facility for a Social Service Provider (i.e. Meals on Wheels) on an 6.211-acre tract of land identified as Tract 2 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP-OV) District, addressed as 1780 Airport Road, and take any action necessary.

(21) **SP2024-014 (BETHANY ROSS) [THE APPLICANT HAS POSTPONED TO THE MAY 14, 2024 MEETING]**

Discuss and consider a request by Dnyanada Nevgi of SRV Land Building and Real Estate, LLC on behalf of Naomi Freeman of Buffalo Country Properties, LLC for the approval of a Site Plan for a Retail Building and Daycare Facility on a 2.649-acre parcel of land identified as Lot 13 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located on the southside of E. Ralph Hall Parkway west of the intersection of E. Ralph Hall Parkway and S. Goliad Street [SH-205], and take any action necessary.

(22) **SP2024-015 (BETHANY ROSS)**

Discuss and consider a request by Kevin Patel of Triangle Engineering on behalf of Conor Keilty of Structured REA-Rockwall Land LLC for the approval of a Site Plan for a Retail Store with Gasoline Sales (i.e. 7/11) on a 1.95-acre portion of a larger 12.868-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing and Fit Sport Life Boulevard, and take any action necessary.

(VII) DISCUSSION ITEMS

(23) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- Z2024-003: PD Development Plan and Amendment to Planned Development District 74 (PD-74) **(WITHDRAWN BY THE APPLICANT)**
- Z2024-006: Text Amendment to the UDC and Municipal Code of Ordinances for Short-Term Rentals **(2<sup>ND</sup> READING; APPROVED)**

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on April 5, 2024 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
MARCH 12, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC  
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## 5 6 I. CALL TO ORDER

7  
8 Commissioner Conway called the meeting to order at 6:00 PM. Commissioners present were Jay Odom, Ross Hustings and Kyle Thompson.  
9 Commissioners absent were Chairman Derek Deckard, Vice-Chairman John Womble and Commissioner Brian Llewelyn. Staff members present were  
10 Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning  
11 Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn Price.

## 12 13 II. OPEN FORUM

14  
15 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*  
16 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*  
17 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*  
18 *Act.*

19  
20 Commissioner Conway explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there  
21 being no one indicating such, Commissioner Conway closed the open forum.

## 22 23 III. CONSENT AGENDA

24  
25 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*  
26 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

27  
28 1. Approval of minutes for the **February 27, 2024** Planning and Zoning Commission meeting.

### 29 30 2. **P2024-006 (HENRY LEE)**

31 Discuss and consider a request by Brad Boswell and Asher Hamilton of RIV Properties for the approval of a *Final Plat* of Lots 1, 2 & 3, Block A, George  
32 Morton Estates Addition being a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4,  
33 Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of  
34 Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development  
35 District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

36  
37 Commissioner Llewelyn made a motion to approve Consent Agenda. Commissioner Thompson second the motion and it passed by a vote of 4-0.

## 38 39 IV. PUBLIC HEARING ITEMS

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41 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please*  
42 *submit a [Request to Address the Planning and Zoning Commission](#) (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning*  
43 *Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments*  
44 *to three (3) minutes out of respect for the time of other citizens.*

### 45 46 3. **Z2024-003 (RYAN MILLER)**

47 Hold a public hearing to discuss and consider a request by Michael Twichell of Michael F. Twichell, LP on behalf of Jim Duggan of NEC John King & 552, LP  
48 for the approval of a *Zoning Change* and *PD Development Plan* amending Planned Development District 74 (PD-74) [*Ordinance No. 17-60*] being a 17.3750-  
49 acre portion of a larger 405.184-acre Planned Development District situated within the J. Strickland Survey, Abstract No. 187; T. R. Bailey Survey, Abstract No.  
50 30; and, J. Simmons Survey, Abstract No. 190, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for limited General  
51 Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (BY-OV) District, generally located at the northeast corner of the intersection of John  
52 King Boulevard and FM-552, and take any action necessary.

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54 The applicant has requested that the case be postponed.

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56 Commissioner Llewelyn made a motion to approve postponing the case to the March 26 meeting. Commissioner Thompson seconded the motion  
57 which passed by a vote of 4-0

### 58 59 4. **Z2024-008 (ANGELICA GUEVARA)**

60 Hold a public hearing to discuss and consider a request by Marisol Ortiz on behalf of Ricardo Alonso for the approval of a *Specific Use Permit (SUP)* for  
61 *Residential Infill in an Established Subdivision* on a 0.121-acre parcel of land identified as Lot 49 of the Canup's Addition, City of Rockwall, Rockwall County,  
62 Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 302 E. Bourn Street,  
63 and take any action necessary.

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The applicant has requested to table this case.

Commissioner Thompson made a motion to approve tabling the case. Commissioner Llewelyn seconded the motion which passed by a vote of 4-0.

5. **Z2024-009 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Harold Fetty of H. D. Fetty Land Surveyor, LLC on behalf of Antonio Borjas for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District and a Light Industrial (LI) District for a 9.4411-acre tract of land identified as Tract 3-4 of the J. H. Bailey Survey, Abstract No. 45, City of Rockwall, Rockwall, Texas, zoned Agricultural (AG) District, situated in the SH-276 Overlay (SH-276 OV) District, addressed 172 Zollner Road, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting for an approval of a zoning change. They are requesting to rezone the front portions to Light Industrial (LI) and the back portions to Single-Family Estate 1.5. (SF-1.5). This is currently one property and they are looking to convey the portion that is on 276 therefore they are going through the zoning process and will have to come back later for the platting process. Currently for the zoning request staff is looking at the comprehensive plan and the portion facing 276 is indicated as technology and employment which is one of the zoning districts that allows Light Industrial (LI). The other portion where the single-family home is located along Zollner the future land use plan has that as Commercial Retail but right now there's a single-family home on that property and the applicant has indicated that they will continue to have that as a single-home property. While it's not in conformance with the future land use map it is a step towards that direction. In the future it could still go Commercial Retail. On February 22<sup>nd</sup> staff mailed out 24 notices to property owners and occupants within 500ft of the subject property.

Commissioner Conway opened the Public Hearing and asked anyone who wished to speak to come forward at this time, there being no one indicating such, Commissioner Conway closed the public hearing and brought the item back for discussion or action.

Commissioner Odom made a motion to approve Z2024-009. Commissioner Thompson seconded the motion which passed by a vote of 4-0.

6. **Z2024-006 (RYAN MILLER)**

Hold a public hearing to discuss and consider a Text Amendment to Article 04, *Permissible Uses*, and Article 13, *Definitions*, of the Unified Development Code (UDC) and to establish Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances for the purpose of creating requirements for *Short-Term Rentals*, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the request. City Council voted to recommend and direct staff to move forward with the proposed amendment. City Council directed staff and they created new and local regulations. There are three distinct categories of Short-Term Rentals (STR). Short term Rental (owner occupied, single-family home, Townhome or Duplex) A single-family home, townhome, or duplex *or portion thereof* in which the property owner or operator, as reflected in a valid lease agreement, is a resident (*i.e. occupies the primary structure*) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property. Short term Rental non-owner occupied (single-family home, Townhome or Duplex) A single-family home, townhome, or duplex -- *or a portion thereof* -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- *or portion thereof* -- on the same property (*i.e. the property owner or operator is not on-site as an occupant during the rental of the property*). STR (apartment or condominium) An apartment or condominium (*or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]*) -- *or a portion thereof* -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental. staff has also created a permit application and registration form that shows the information that would be collected as part of the proposed program. Based on the proposed ordinance, a \$500.00 application fee would be required to register a STR and the registration and permit would be valid for a period of three (3) years once issued. The standard requirements for the STRs include parking, temporary structure, trash, single, conduct on premises, tenant notification requirements and payment of hotel occupancy tax. The Ordinance also establishes specific violation and penalty's that can range from \$250 - \$2,000. In addition, if an STR accrues three violations in any consecutive six months period the Short-Term Rental registration and permit is revoked. A responsible party that resides in Rockwall County and is available at all time that the rental is being used to ensure there is a point of contact that is local and can remedy any issues.

Commissioner Llewelyn asked about 500 feet buffer.

Commissioner Llewelyn asked about notarization.

Commissioner Llewelyn asked about why it isn't 1,000 ft buffer.

Commissioner Odom asked about Commercial Insurance.

Commissioner Conway asked about Homeowners Insurance.

Joy Murphy  
209 Tanya Drive  
Rockwall, TX 75087

Mrs. Murphy came forward and expressed her concerns in regards to the request and asked to consider the larger buffer.



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Melba Jeffus  
2606 Cypress Dr  
Rockwall, TX 75087

Mrs. Jeffus came forward and expressed her concerns in regards to the request.

Norman Fontaine  
805 Calm Coast Dr  
Rockwall, TX 75087

Mr. Fontaine came forward and expressed her concerns in regards to the request.

William Childs  
1611 S Alamo  
Rockwall, TX 75087

Mr. Childs came forward and expressed his concerns in regards to the request.

Terri Nevitt  
201 Becky Lane  
Rockwall, TX 75087

Mrs. Nevitt came forward and expressed her concerns in regards to the request.

Greg Murphy  
209 Tanya Drive  
Rockwall, TX 75087

Mr. Murphy came forward and expressed his concerns in regards to the request and asked to consider the larger buffer.

Commissioner Lewellyn asked about the trash.

Commissioner Conway asked about the occupancy in the str.

Commissioner Llewellyn made a motion to approve Z2024-006 with the change of 1,000 ft buffer. Commissioner Thompson seconded the motion which passed by a vote of 4.0.

#### V. ACTION ITEMS

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

#### **7. SP2024-003 (ANGELICA GUEVARA)**

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Kevin Lloyd of 1800 Dalrock, LLC for the approval of a Site Plan for two (2) metal buildings in conjunction with two (2) existing commercial/industrial buildings on a 1.55-acre parcel of land identified as Lot 7, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Trail, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting approval of the site plan for the purpose of adding two metal building to the subject property. This request has been previously approved back in 2019 however, no action was taken towards completion after the site plan was approved therefore causing it to expire on June 11, 2021. The applicant is having to go through the process once again of requesting approval of site plan for the two additional buildings the elevations of the proposed buildings. The applicant is also proposing to incorporate a brick wainscot on all of the building facades including the existing metal buildings. The applicant request conforms the majority of the city codes however staff has identified the following exceptions roof design standards, building articulation and parking requirements. In regards to the parking staff wanted to add that the office land use has a parking requirement of one for 300 square feet which is what the applicant is showing on the site plan however, the current user is a dance studio which is calculated as a retail or general personal service which is formed for 250 square feet. Staff should point out that the applicant only intends on using these buildings for office land uses then the parking deficiency is 6 spaces however, if these bookings continue to attract non-office land uses like the dance studio parking deficiency increases to 16 spaces.

Dub Douphrate  
2235 Ridge Road  
Rockwall, TX 75032

Mr. Douphrate came forward and provided additional details in regards to the request.

Commissioner Odom made a motion to approve SP2024-003. Commissioner Llewellyn seconded the motion which passed by a vote of 4-0.

200 **8. SP2024-004 (BETHANY ROSS)**

201 Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Brian Berry of PRBBS, LLC for the approval of a Site Plan for a commercial  
202 building on a 1.745-acre parcel of land being identified as Lot 1, Block A, BW Plus Executive Residency Addition City of Rockwall, Rockwall County, Texas,  
203 zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 700 Vigor Way, and take any action necessary.

204  
205 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is proposing a Site Plan for a**  
206 **commercial building. They are requesting a variance to the landscape buffer with a berm and bushes. They are proposing compensatory measures.**  
207 **They are also providing increase landscape area. The two-story building does not meet articulation requirements.**

208  
209 **Jeff Carroll**  
210 **750 E Interstate 30**  
211 **Rockwall, TX 75087**

212  
213 **Mr. Carroll came forward and provided additional details in regards to the request.**

214  
215 **Commissioner Llewelyn made a motion to approve SP2024-004. Commissioner Odom seconded the motion which passed by a vote of 4-0.**

216  
217 **9. SP2024-005 (BETHANY ROSS)**

218 Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Akhil Vats of Vedanta Estates, LLC for the approval of a Site Plan for a  
219 medical office building on a 0.70-acre parcel of land being identified as Lot 6, Block A, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned  
220 Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1940 Alpha Drive, and take any action necessary.

221  
222 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting a site plan for a medical**  
223 **center. In 2020 this site plan was approved and the site plan has then expired in 2022. There are variances to the standards and property. They do**  
224 **not meet the requirements and not fully three-tiered screening. Staff asked that they add a detention area to put vertical walls in detention systems.**  
225 **Compensatory measures to landscape, accent trees and shrubs. Exception to articulation variances. Building elevations to provide screen**  
226 **percentage.**

227  
228 **Commissioner Llewelyn made a motion to approve SP2024-005 with the variances and site plan with the exception of the detention system.**  
229 **Commissioner Thompson seconded the motion which passed by vote of 4-0.**

230  
231 **VI. DISCUSSION ITEMS**

232  
233 **10. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**

- 234  
235
  - P2024-005: Replat for Lot 10, Block A, Dalton Goliad Addition (**APPROVED**)
  - Z2024-001: Amendment to Planned Development District 2 (PD-2) (**2<sup>ND</sup> READING; APPROVED**)
  - Z2024-002: Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* for 715 Sherman Street (**2<sup>ND</sup> READING; APPROVED**)
  - Z2024-004: Specific Use Permit (SUP) for an *Accessory Building and Carport* at 9 Crestview Circle (**2<sup>ND</sup> READING; APPROVED**)

236  
237  
238  
239 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at he City Council meeting**

240  
241  
242 **VII. ADJOURNMENT**

243  
244 **Commissioner Conway adjourned the meeting at 7:43PM**

245  
246 **PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_**  
247 **\_\_\_\_\_, 2024.**

248  
249  
250 \_\_\_\_\_  
251 Derek Deckard, Chairman

252 Attest:

253 \_\_\_\_\_  
254 Melanie Zavala, Planning Coordinator

# MINUTES



PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
MARCH 26, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## I. CALL TO ORDER

Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were John Womble, Jay Odom, Kyle Thompson, Ross Hustings and Brian Llewelyn. Commissioners absent were Dr Jean Conway. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Planner Bethany Ross. Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn Price.

## II. OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the architectural review board meeting.

## III. PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

### 1. Z2024-003 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by Michael Twichell of Michael F. Twichell, LP on behalf of Jim Duggan of NEC John King & 552, LP for the approval of a Zoning Change and PD Development Plan amending Planned Development District 74 (PD-74) [Ordinance No. 17-60] being a 17.3750-acre portion of a larger 405.184-acre Planned Development District situated within the J. Strickland Survey, Abstract No. 187; T. R. Bailey Survey, Abstract No. 30; and, J. Simmons Survey, Abstract No. 190, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for limited General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (BY-OV) District, generally located at the northeast corner of the intersection of John King Boulevard and FM-552, and take any action necessary.

Hold a public hearing to discuss and consider a request by Michael Twichell of Michael F. Twichell, LP on behalf of Jim Duggan of NEC John King & 552, LP for the approval of a Zoning Change and PD Development Plan amending Planned Development District 74 (PD-74) [Ordinance No. 17-60] being a 17.3750-acre portion of a larger 405.184-acre Planned Development District situated within the J. Strickland Survey, Abstract No. 187; T. R. Bailey Survey, Abstract No. 30; and, J. Simmons Survey, Abstract No. 190, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for limited General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (BY-OV) District, generally located at the northeast corner of the intersection of John King Boulevard and FM-552, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a summary in regard to the request. A bit of background on the property. It was originally annexed back in 2008 with the rest of the Breezy Hill subdivision. This was done in accordance with a development agreement that was in result of a litigation between the City of Rockwall and the Cambridge company. In accordance with this agreement the City Council established Planned Development District 74 (PD-74) through ordinance number 09-19 on April 20, 2009. In 2014 the district was amended again to reduce the General Retail (GR) acreage from 59 to 33.7 acres to allow the incorporation of phase 9 and part of phase 10 of the Breezy Hill subdivision. The property was again adjusted back in 2016 down to 19.44 acres when the PD was amended by ordinance 16-59 which allowed the remainder of phase 10 Breezy Hill subdivision. Finally, the subject property was then again amended back in 2017 when TX DOT came in and widened FM 552 and this reduced the acreage down to 17.375 acres. Ultimately there was another amendment ordinance 17-60 which is the current zoning for the Breezy Hill subdivision. That was done in 2017 and that amendment affected the residential lots and increased many of the lot sizes in that subdivision. Looking at the current zoning here on our next slide so for the subject property the current zoning stipulates that the subject property be developed in accordance with the land uses and development standards for the general retail district. In addition, about half the property is located within the SH 205 bypass overlay district and would be subject to the upgraded standards for our overlay district with the remainder of the property being outside of those standards. The current ordinance also provides some limitations on land uses. There are about 21 land uses that are strictly prohibited that would currently be allowed in a general retail district, but this PD ordinance prohibits those. In addition, it does add an additional use that being a grocery store with a building area of 130,000 square feet and the reason they added that provision in there is the general retail district requires a specific use permit specifically on any building larger than 25,000 square feet so in this case they were bypassing that SUP requirement as part of the PD. Finally, the language that was incorporated stipulating that the non-residential development be pedestrian oriented and accessible to the adjacent residential subdivision. This being a zoning change staff

62 did send out notices. Staff mailed out 780 notices to property owners and occupants within 500 feet of the subject property. Since then Staff received  
63 37 responses from 31 property owners two of which were in favor of the applicants request 32 of which were opposed one of which indicating both  
64 being in favor and opposed. One of which the post office only sent in a corner of it therefore we could not determine whether that was in favor or  
65 opposed. Then one of which was from a property owner in the ETJ.

66  
67 Chairman Deckard asked what would be able to be built by right as of now.

68  
69 Commissioner Llewelyn asked if lots 1,7,6,5 and lots 2,3, and 4 would have to come through with each case and have SUP.

70  
71 Mike Twichell  
72 3624 Oak Lawn Ave  
73 Dallas, TX

74  
75 Mr. Twichell came forward and provided additional details in regards to the request.

76  
77 Chairman Deckard asked if the business can have deeds.

78  
79 Howard Collinger  
80 4152 Mason Ridge  
81 Dallas, TX

82  
83 Mr. Collinger came forward and provided additional details in regards to the request.

84  
85 Chairman Deckard asked about the fence.

86  
87 Chairman Deckard Opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.

88  
89 Bob Wacker  
90 309 Featherstone Dr  
91 Rockwall, TX 75087

92  
93 Mr. Wacker came forward and expressed his concerns in regards to the request.

94  
95 Scott Hefner  
96 735 Pleasant Breeze  
97 Rockwall, TX 75087

98  
99 Mr. Hefner came forward and expressed his concerns in regards to the request.

100  
101 Brennan Smith  
102 3323 Ridge cross Drive  
103 Rockwall. TX 75087

104  
105 Mr. Smith came forward and expressed his concerns in regards to the request.

106  
107 Mike Twitchell Came forward and provided additional details in regards to the request.

108  
109 Chairman Deckard closed the Public Hearing and brought the item back for discussion or action.

110  
111 Chairman Womble asked about what the zoning would be.

112  
113 Vice Chairman Womble made a motion to deny Z2024-003. Commissioner Llewelyn seconded the motion to deny which passed by a vote of 4-1.  
114 Commissioner Hustings dissenting.

#### 115 116 IV. ACTION ITEMS

117  
118 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances  
119 and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code  
120 of Ordinances.*

#### 121 122 2. MIS2024-004 (ANGELICA GUEVARA)

123 Discuss and consider a request by Kris Sharp of 5 Sharp Real Estate, LLC for the approval of a Miscellaneous Case for an Exception for a Front  
124 Yard Fence in conjunction with an existing non-residential building on a 1.914-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City  
125 of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, addressed as 3301  
126 Springer Lane, and take any action necessary.



128 Planning Technician Angelica Guevara provided a summary regarding the request. The applicant is requesting approval of an exception for a front yard  
129 fence at an existing non-residential building. A little background on this the staff was notified by the building inspections department that the proposed  
130 fence had been constructed prior to receiving a building permit. The applicant was then told to stop work on the fence and was informed that they  
131 would have to go before the Planning and Zoning Commission for approval. At the time of submittal, the applicant was also charged with the non-  
132 compliant fee of \$1000 for commencing work without a permit. The fence is constructed using rod iron it's 72 inches in height and it's more than 50%  
133 transparent. In addition to the fence the applicant is also proposing to install 2 automatic flight gates and that when reviewing non-residential fences,  
134 the UDC states that rod iron fences and decorative metal fences shall not exceed 8 feet in height. In this case the applicants request meets the  
135 requirements for an exception for a front fence and does not appear to have a negative impact on any other adjacent property however approval of this  
136 request is a discretionary decision for the Planning and Zoning Commission.

137  
138 Vice-chairman Womble asked if any of the adjacent properties have a front yard fence.

139  
140 Commissioner Llewellyn made a motion to approve MIS2024-004. Chairman Deckard seconded the motion which passed by a vote of 5-0.

141  
142 **3. MIS2024-005 (ANGELICA GUEVARA)**

143 Discuss and consider a request by Evan Stokes on behalf of Richard Stokes for the approval of a *Miscellaneous Case* for an *Exception* for a  
144 *Front Yard Fence* in conjunction with an existing single-family home on a 0.7976-acre parcel of land identified as Lot 4, Block B, Highland Acres  
145 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, situated within the Scenic Overlay (SOV) District,  
146 addressed as 3185 Ridge Road, and take any action necessary.

147  
148 Planning Technician Angelica Guevara provided additional details regarding the request. The applicant is requesting approval of a front yard fence.  
149 Based on the applicant's fence exhibit the proposed fence shall be constructed using black steel it shall be 48 inches in height and be oriented in  
150 horizontal configuration. In addition, the applicant is also proposing to add a double swing gate as part of the request. UDC states that Francis should  
151 be 50% transparent and not exceed 4 feet in height and shall not be an opaque fence. In this case the fence is within the height requirement however  
152 the fence does not appear to be 50% transparent. Staff should point out that there are other existing front yard fences along Ridge Road that are in  
153 close proximity to the subject property specifically there is a six-foot non-transparent side yard fence at the property directly north that extends into  
154 the required front yard along Ridge Rd. Although staff should note that that fence was constructed under an older version of the UDC and would not  
155 be considered in conformance to the code today. However, this applicants request has not appeared to impair or increase visibility of the primary  
156 structure but any request requiring an exception for front yard fence are discretionary for the Planning and Zoning commission.

157  
158 Evan Stokes  
159 3185 Ridge Road  
160 Rockwall, TX 75032

161  
162 Mr. Stokes came forward and provided additional details regarding the request.

163  
164 Vice-chairman Womble asked about the setbacks.

165  
166 Commissioner Llewellyn made a motion to approve MIS2024-005. Vice Chairman Womble seconded the motion which passed by a vote of 5-0.

167  
168 **4. SP2024-017 (HENRY LEE)**

169 Discuss and consider a request by Chris Beardom of Wades Landing on behalf of CM Fannin I, LP for the approval of an *Amended Site Plan* for  
170 an existing *Restaurant* on a 0.66-acre tract of land identified as Lots 1 & 2, Block A, Thomas & Smith Addition, City of Rockwall, Rockwall County,  
171 Texas, zoned Downtown (DT) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 308 N. Fannin Street, and take  
172 any action necessary.

173  
174 Senior Planner Henry Lee provided a summary regarding the request. This did have to go to the Historic Preservation Advisory Board before they came  
175 forward to the Planning and Zoning Commission. HPAB did vote to approve this that is sending a recommendation of approval to you all tonight. The  
176 applicant is wanting to add a patio cover in the back that is like the Wells Cattle company which is just a couple doors down. They are redoing the  
177 landscaping and then they are updating some of the wall sconces which changes the photometrics a little bit therefore those are the aspects that they're  
178 bringing forward tonight. In terms of the Historic Board, they looked at the patio cover and there is a minor waiver for the downtown district standards  
179 so that element that comes down from the roof that panel that is a metal panel that it's really an architectural element it's to help screen some of the  
180 lighting keeping the patio sound. Then also they'll have roll down covers that'll help screen those as well when they're up but that is considered a minor  
181 waiver for the downtown district which you all have the authority to approve. In terms of the landscaping and the photometrics the HPAB did not look  
182 at that since it's not part of their purview. Landscaping wise they're going more for a smart scaping element. Drought tolerant lots of rocks. The  
183 photometric plan is going to meet our requirements since they'll be oriented downward and shielded not to cause issues with any of the neighboring  
184 residential.

185  
186 Chris Beardom  
187 308 N Fannin Street  
188 Rockwall, TX 75087

189  
190 Mr. Beardom came forward and provided additional details regarding the request.

191  
192  
193 Chairman Deckard made a motion to approve SP2024-007. Commissioner Thompson seconded the motion which passed by a vote of 5-0.

194 V.DISCUSSION ITEMS  
195

196 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that*  
197 *will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take*  
198 *place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission*  
199 *public hearing and/or action date for the following cases is April 9, 2024.*  
200

201 5. Z2024-010 (HENRY LEE)

202 Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh  
203 Malek for the approval of a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership for Cars and Light Trucks* to allow the expansion of an  
204 existing *New Motor Vehicle Dealership* on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall,  
205 Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30,  
206 and take any action necessary.

207  
208 **Senior Planner Henry Lee provided additional details regarding the request. The reason they're coming for the specific use permit is this property was**  
209 **originally approved and constructed just before the specific use permit was required for this property, they are now requesting to expand the showroom**  
210 **by roughly 2000 square feet. Its technically the expansion of a non-conforming use therefore they're coming through to clean it up get their specific**  
211 **use permit and they'll still have to come back through for their site plan process following this, but this is to get the non-conforming land use**  
212 **conforming.**  
213

214 **Ann Bratt**  
215 **150 N Bartlett**  
216 **Medford, OR**  
217

218 **Mrs. Ann came forward and provided additional details regarding the request.**

219  
220 **Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.**  
221

222 6. Z2024-011 (ANGELICA GUEVARA)

223 Hold a public hearing to discuss and consider a request by Alan Wyatt on behalf of PSB Indemnity Family, LTD PTRN for the approval of a Specific  
224 Use Permit (SUP) to all a structure in excess of 36-feet in the Scenic Overlay (SOV) District to allow the construction of a flag pole on a 1.158-acre  
225 parcel of land identified as a Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C)  
226 District, situated within the Scenic Overlay (SOV) District, addressed as 510 Turtle Cove Boulevard, and take any action necessary.  
227

228 **Planning Technician Angelica Guevara provided additional details regarding the request. The applicant is requesting approval of a 60-foot flagpole and**  
229 **any structure over 36 feet in the scenic overlay district requires a SUP.**  
230

231 **Joe Staton**  
232 **524 Nakoma Drive**  
233 **Rockwall, TX 75087**  
234

235 **Mr. Staton came forward and provided additional details regarding the request.**

236  
237 **Chairman asked about height flagpole regulations.**  
238

239 **Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.**  
240

241 7. Z2024-012 (HENRY LEE)

242 Hold a public hearing to discuss and consider a request by Preston Harris of Harris Family Lake House, LLC for the approval of a Specific Use  
243 Permit (SUP) for *Tennis Courts (Pickleball Courts)* on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1  
244 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District,  
245 addressed as 1722 Ridge Road, and take any action necessary.  
246

247 **Senior Planner Henry Lee provided a summary regarding the request. The pickleball court currently exists today. This was caught through an aerial by**  
248 **staff therefore engaging with the property owner therefore coming in to request a SUP. This also includes the basketball goal and then the lighting as**  
249 **well. Staff has at this has indicated that the lighting needs to be oriented down and shielding.**  
250

251 **Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.**  
252

253 8. Z2024-013 (ANGELICA GUEVARA)

254 Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval  
255 of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.248-acre tract of land identified as a portion of Lot 1180  
256 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75  
257 (PD-75) for Single- Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.  
258

259 Planning Technician Angelica Guevara provided a summary regarding the request. The applicant is requesting approval of an SUP for the purpose of  
260 constructing single family home. The proposed home does meet most of the requirements for homes in Planned Development 75 (PD-75).

261  
262 Paul Acre  
263 507 Ranger Rd  
264 Rockwall, TX 75032

265  
266 Mr. Acre came forward and provided additional details regarding the request.

267  
268 Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.

269  
270 9. **Z2024-014 (ANGELICA GUEVARA)**

271 Hold a public hearing to discuss and consider a request by Barbara Lee for the approval of a Zoning Change from an Agricultural (AG) District to a  
272 Single-Family 1 (SF-1) District for a ten (10) acre tract of land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall,  
273 Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 628 Cornelius Road, and take any action necessary.

274  
275 Planning Technician Angelica Guevara provided a summary regarding the request. Applicant is requesting approval of a zoning change from  
276 Agricultural District (AG) to Single-Family 1 (SF-1) for the purpose of establishing two additional lots to construct 2 separate homes for family members.

277  
278 Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.

279  
280 10. **Z2024-015 (RYAN MILLER)**

281 Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a  
282 Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for a 15.561-acre tract of land identified as a portion  
283 of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG)  
284 District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary.

285  
286 Director of Planning and Zoning Ryan Miller provided a summary regarding the request. The proposed zoning is Single-Family Estate 1.5 District (SFE-  
287 1.5) which is low density residential and does meet the future land use map and the comprehensive plan.

288  
289 Ryan Joyce  
290 767 Justin Road  
291 Rockwall, TX 75087

292  
293 Mr. Joyce came forward and provided additional details regarding the request.

294  
295 Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.

296  
297 11. **P2024-009 (RYAN MILLER)**

298 Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a Final Plat for Lots 1-8,  
299 Block A, People Tract Addition being a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey,  
300 Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take  
301 any action necessary.

302  
303 Director of Planning and Zoning Ryan Miller advised that this item will go to parks board on April 2<sup>nd</sup> therefore it will come back on consent Agenda on  
304 April 9<sup>th</sup>

305  
306 Ryan Joyce  
307 767 Justin Road  
308 Rockwall, TX 75087

309  
310 Mr. Joyce came forward and provided additional details regarding the request.

311  
312 Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.

313  
314 12. **P2024-011 (HENRY LEE)**

315 Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a  
316 Final Plat for the Terraces Subdivision consisting of 82 single-family residential lots on a 21.648-acre tract of land being identified as a portion of  
317 Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development  
318 District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, generally located south of the intersection of Cornelius Road and FM-1141, and  
319 take any action necessary.

320  
321 Senior Planner Henry Lee advised that this item will go to parks board on April 2<sup>nd</sup> therefore it will come back on consent Agenda on April 9<sup>th</sup>

322  
323 Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.

324

325 13. **SP2024-006 (HENRY LEE)**

326 Discuss and consider a request by Salvador Salcedo for the approval of a Site Plan for an *Office/Warehouse Building* on a 0.45- acre parcel of  
327 land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI)  
328 District, addressed as 855 Whitmore Drive, and take any action necessary.

329

330 **Senior Planner Henry Lee came forward and provided additional details regarding the request. The applicant is requesting an approval of a site plan**  
331 **for the office warehouse building. They ultimately were denied by the Planning and Zoning commission before. They had not provided the appropriate**  
332 **compensatory measures or met the request by the Architecture Review Board, so they have returned. Their building materials and their articulation all**  
333 **meet the requirements of the UDC. The only thing that's different now is the door it will require a variance request. The ARB chairman went over this**  
334 **case they did have several things they wanted to do with this building. They wanted some glass windows up to help break up that top part of the**  
335 **building they wanted a cover over the main entry as well as over this garage.**

336

337 **Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.**

338

339 14. **SP2024-008 (ANGELICA GUEVARA)**

340 Discuss and consider a request by Dwayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings,  
341 LLC for the approval of a Site Plan for *General Retail Building* on a 0.7621-acre portion of a larger 2.542-acre parcel of land identified as Lot 1,  
342 Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General  
343 Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action  
344 necessary.

345

346 **Planning Technician Angelica Guevara provided a summary regarding the request. The applicant had withdrawn last December to allow more time to**  
347 **work on some issues with the site. However, we do have a couple of variances roof design standards, primary articulation, lighting standards height of**  
348 **dumpster enclosure and light at non-residential property line. ARB recommended approval of the building elevations.**

349

350 **Dwayne Zinn**  
351 **1720 West Virginia St**  
352 **McKinney, TX**

353

354 **Mr. Zinn came forward and provided additional details regarding the request.**

355

356 **Dan Sopranzi**  
357 **10300 N Central Expwy**  
358 **Dallas, TX 75231**

359

360 **Mr. Sopranzi came forward and provided additional details regarding the request.**

361

362 **Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.**

363

364 15. **SP2024-009 (BETHANY ROSS)**

365 Discuss and consider a request by Justin Toon of Industrial Reserve on behalf Reserve Capital – Rockwall Industrial SPE, LLC for the approval of  
366 an Amended Site Plan for a *Warehouse/Distribution Center* on an 18.48-acre tract of land identified as Tracts 1, 1-3 & 1-7 of the J. M. Allen Survey,  
367 Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV)  
368 District, addressed as 1725 SH-276, and take any action necessary.

369

370 **Planner Bethany Ross came forward and provided additional details regarding the request. The applicant is requesting a variance to the berm.**

371

372 **Easton Turner**  
373 **12404 Park Central Dr**  
374 **Dallas, TX**

375

376 **Jose Garcia**  
377 **12404 Park Central Dr**  
378 **Dallas, TX**

379

380 **Mr. Garcia and Mr. Turner came forward and provided additional details regarding the request.**

381

382 **Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.**

383

384 16. **SP2024-010 (HENRY LEE)**

385 Discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-Rockwall Land,  
386 LLC for the approval of a Site Plan for a *Golf Driving Range* on an 9.942-acre tract of land being portions of a larger 18.131-acre tract of land and  
387 a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned  
388 Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the terminus of Fit Sport Life Boulevard, and  
389 take any action necessary.



390 Senior Planner Henry Lee provided a summary regarding the request. ARB did recommend approval and staff is working through comments at this  
391 point the variances were to the material requirements and to the articulation.  
392  
393

394 **Renee Ward**  
395 2201 E Lamar Blvd.  
396 Arlington, TX 76006  
397

398 Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.  
399

400 17. **SP2024-011 (HENRY LEE)**

401 Discuss and consider a request by Bobby Pross of Pross Design Group on behalf of Jaymie Bullard of USEF Rockwall Owner, LLC for the approval  
402 of an Amended Site Plan for a Warehouse/Distribution Facility on a 12.101-acre tract of land identified as Lot 4, Block A, Rockwall Park 30 Addition,  
403 City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located  
404 on the southside of the IH-30 Frontage Road east of the intersection of Corporate Crossing and IH-30, and take any action necessary.  
405

406 Senior Planner Henry Lee came forward and provided additional details regarding the request. Applicant is requesting an amended site plan to allow  
407 for silos on the property. Currently showing the six proposed silos today with potential of six more in the future. The top elevation shows the existing  
408 screen wall that's there that's roughly 12 1/2 feet tall or 12 feet tall. ARB did ask that the screening of the wall be raised to the height of the building.  
409 ARB also agreed if along the detention if they can add shrubs along this edge. Staff also recommended Eastern Red Cedars just goes that would grow  
410 into a taller thicker vegetative screen as well to help not only hide it but if that wall is raised it'll help break up that that flat façade.  
411

412 Chairman Deckard asked what material they are proposing.  
413

414 **Jaymie Bullard**  
415 3030 LBJ Freeway  
416 Dallas, TX 75234  
417

418 Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.  
419

420 18. **SP2024-012 (BETHANY ROSS)**

421 Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Frank Conselman for the approval of a Site Plan for an  
422 Industrial/Warehouse Building on a 6.68-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall,  
423 Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP-OV) District, addressed as 1735 Airport Road,  
424 and take any action necessary.  
425

426 Planner Bethany Ross provided a summary regarding the request. The applicant is requesting a Site Plan Approval for Industrial warehouse. Staff has  
427 identified 7 Variances and are working through comments.  
428

429 **Jeff Carroll**  
430 750 E Interstate 30  
431 Rockwall, TX  
432

433 Mr. Carroll came forward and provided additional details regarding the request.  
434

435 Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.  
436

437 19. **SP2024-013 (BETHANY ROSS)**

438 Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Margie Verhagen of Meals on Wheels for the approval of  
439 a Site Plan for a facility for a Social Service Provider (i.e. Meals on Wheels) on a 6.211-acre tract of land identified as Tract 2 of the D. Harr  
440 Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP-  
441 OV) District, addressed as 1780 Airport Road, and take any action necessary.  
442

443 Planner Bethany Ross provided a summary regarding the request. Staff has identified 4 exceptions and are working through comments. ARB did look  
444 at this case and recommended approval.  
445

446 **Jeff Carroll**  
447 750 E Interstate 30  
448 Rockwall, TX  
449

450 Mr. Carroll came forward and provided additional details regarding the request.  
451

452 Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.  
453

454 20. **SP2024-014 (BETHANY ROSS)**

455 Discuss and consider a request by Dnyanada Nevgi of SRV Land Building and Real Estate, LLC on behalf of Naomi Freeman of Buffalo Country  
456 Properties, LLC for the approval of a Site Plan for a *Retail Building and Daycare Facility* on a 2.649-acre parcel of land identified as Lot 13 of the  
457 Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located on the southside  
458 of E. Ralph Hall Parkway west of the intersection of E. Ralph Hall Parkway and S. Goliad Street [SH-205], and take any action necessary.

460 **Planner Bethany Ross came forward and provided additional details regarding the request. This came in about 4 years ago and engineering plans  
461 expired. Staff has identified 2 exceptions primary and secondary building articulation.**

463 **Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.**

464  
465 21. **SP2024-015 (BETHANY ROSS)**

466 Discuss and consider a request by Kevin Patel of Triangle Engineering on behalf of Conor Keilty of Structured REA-Rockwall Land LLC for the  
467 approval of a Site Plan for a *Retail Store with Gasoline Sales (i.e. 7/11)* on a 1.95-acre portion of a larger 12.868-acre parcel of land identified as  
468 Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay  
469 (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing and Fit Sport Life Boulevard, and take any action  
470 necessary.

471  
472 **Planner Bethany Ross came forward and provided additional details regarding the request. Staff has identified 7 exceptions and variances and working  
473 through comments.**

474  
475 **Kevin Patel**  
476 **1782 W. McDermott Dr**  
477 **Allen, TX 75013**

478  
479 **Mr. Patel came forward and provided additional details regarding the request.**

480  
481 **Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.**

482  
483 22. **SP2024-016 (HENRY LEE)**

484 Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a  
485 Site Plan for the Terraces Subdivision consisting of 82 single-family residential lots on a 21.648-acre tract of land being identified as a portion of  
486 Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development  
487 District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, generally located south of the intersection of Cornelius Road and FM-1141, and  
488 take any action necessary.

489  
490 **Senior Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting a site plan. Senior Planner Henry Lee provided  
491 a summary regarding the request. The applicant is requesting a site plan. This is phase 2 of the Terraces. Staff is working through comments.**

492  
493 **Chairman Deckard advised that this item will go before the commission for discussion or action on April 9, 2024.**

494  
495 23. Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- 496  
497 • P2024-006: Final Plat for Lots 1, 2, 3, Block A, George Morton Estates Addition (**APPROVED**)  
498 • Z2024-003: PD Development Plan and Amendment to Planned Development District 74 (PD-74) (**POSTPONED TO THE APRIL 1, 2024 CITY  
499 COUNCIL MEETING**)  
500 • Z2024-006: Text Amendment to the UDC and Municipal Code of Ordinances for *Short-Term Rentals* (**1<sup>ST</sup> READING; APPROVED**)  
501 • Z2024-008: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 302 E. Bourn Street (**POSTPONED TO THE APRIL  
502 15, 2024 CITY COUNCIL MEETING**)  
503 • Z2024-009: Zoning Change (AG to SFE-1.5 and LI) for 172 Zollner Road (**1<sup>ST</sup> READING; DENIED WITHOUT PREJUDICE**)

504  
505 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.**

506  
507 **VI. ADJOURNMENT**

508  
509 **Chairman Deckard adjourned the meeting at 8:23PM**

510  
511 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
512 \_\_\_\_\_, 2024.

513  
514  
515 \_\_\_\_\_  
516 Derek Deckard, Chairman

517  
518 Attest:

519 \_\_\_\_\_  
520 Melanie Zavala, Planning Coordinator

519

520 1. **Capital Improvement Advisory Committee Meeting (CIAC) [8:00 PM]**

521 The Capital Improvement Advisory Committee Meeting (CIAC) will be meeting directly after the Planning and Zoning Commission Work Session  
522 Meeting to discuss the 2024 Impact Fee Update of Roadway, Water, Wastewater Impact Fees.

523

524



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2024  
**APPLICANT:** Ryan Joyce; *Michael Joyce Properties*  
**CASE NUMBER:** P2024-009; *Final Plat for Lots 1-8, Block L, Peoples Tract Addition*

---

### SUMMARY

Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a Final Plat for Lots 1-8, Block A, Peoples Tract Addition being a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary.

### PLAT INFORMATION

- ☑ Purpose. The applicant is requesting the approval of a Final Plat for a 15.561-acre tract of land (*i.e. Tract 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72*) for the purpose of establishing eight (8) single-family residential lots (*i.e. Lots 1-8, Block A, Peoples Tract Addition*). Staff should note that the applicant has concurrently submitted a zoning change [Case No. Z2024-015] for the subject property proposing to change the zoning from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District. As a condition of approval for this subdivision plat, this zoning case would need to be approved. This means that if the subdivision plat is approved by the City Council, the plat will not be considered fully approved and be able to be recorded with Rockwall County until after the anticipated second reading of the proposed zoning ordinance on May 6, 2024. Staff should note that if the City Council denies this zoning case, the subsequent conditional approval of this subdivision plat would not be valid.
- ☑ Background. The subject property was annexed into the City of Rockwall on January 4, 2010 by *Ordinance No. 10-01* [Case No. A2009-005]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On December 6, 2021, the City Council adopted *Ordinance No. 21-58* [Case No. Z2021-047; S-265] allowing an *Animal Shelter or Loafing Shed* on a portion of the subject property (*i.e. 555 Cornelius Road*). On September 6, 2022 a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72 were rezoned to Planned Development District 93 (PD-93) [Case No. Z2022-038; *Ordinance No. 22-47*] for the purpose of incorporating this land into the Terraces Subdivision. The remainder of the subject property remained unchanged and is zoned Agricultural (AG) District.
- ☑ Parks Board. On April 2, 2024, the Parks and Recreation Board reviewed the Final Plat and made the following recommendations concerning the proposed subdivision:
  - (1) The property owner shall pay *Pro-Rata Equipment* fees of \$3,324.10 (*i.e. \$664.82 x 5 Lots*).
  - (2) The property owner shall pay *Cash in Lieu of Land* fees of \$3,554.95 (*i.e. \$710.99 x 5 Lots*).
- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications, submittal requirements, and conformance to the items listed in the Conditions of Approval section of this case memo.
- ☑ Conditions of Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.



## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of a Final Plat for Lots 1-8, Block A, Peoples Tract Addition, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to release of the civil engineering plans; and,
- (2) The development shall adhere to the Parks and Recreation Department's recommendations as outlined above in this case memo; and,
- (3) If approved by the City Council, this subdivision plat will be deemed to be conditionally approved until after the approval of the proposed zoning change [*Case No. Z2024-015*]. If the City Council denies the proposed zoning change, this subdivision plat will be considered to be denied and shall not be filed with Rockwall County; and,
- (4) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	333 Cornelius Road		
SUBDIVISION	M.B. Jones Survey, Abstract No. 122	LOT	BLOCK
GENERAL LOCATION	Approximately 1250 ft east of the intersection John King & FM 1141 South of 1141		

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-93	CURRENT USE	
PROPOSED ZONING	SFE-1.5	PROPOSED USE	
ACREAGE	15.561	LOTS [CURRENT]	4
		LOTS [PROPOSED]	8

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Mike Peoples	<input checked="" type="checkbox"/> APPLICANT	Michael Joyce Properties
CONTACT PERSON	Mike Peoples	CONTACT PERSON	Ryan Joyce
ADDRESS	PO Box 41	ADDRESS	767 Justin Road
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE		PHONE	512-965-6280
E-MAIL		E-MAIL	ryan@michaeljoyceproperties.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Peoples [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

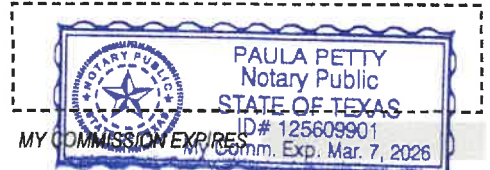
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 611.22 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8<sup>th</sup> DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8<sup>th</sup> DAY OF March, 2024

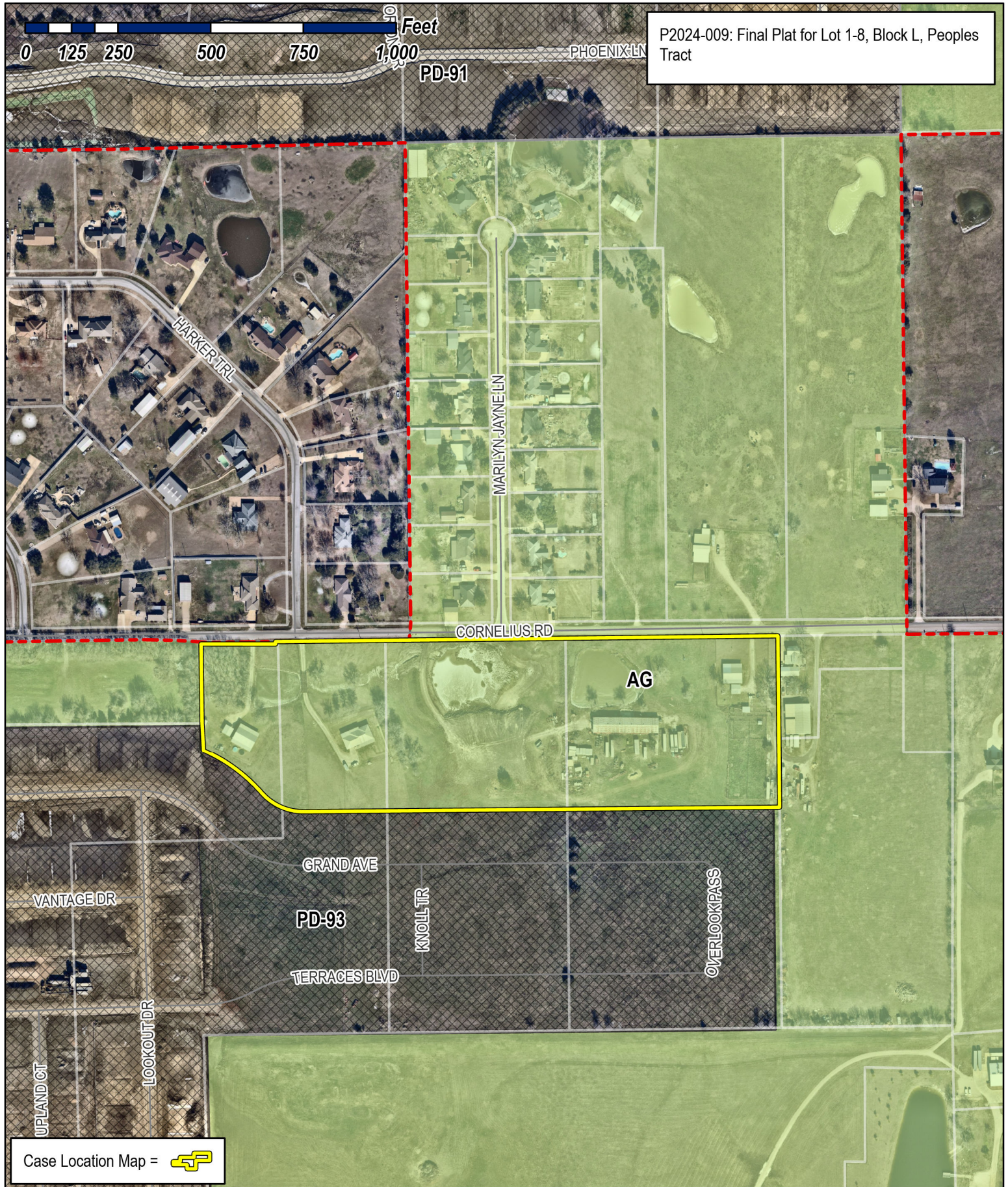
OWNER'S SIGNATURE

*[Signature: Mike Peoples]*  
*[Signature: Paula Petty]*


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







P2024-009: Final Plat for Lot 1-8, Block L, Peoples Tract

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





## **FIELD NOTE DESCRIPTION**

### **15.561 ACRES**

**BEING** a tract of land situated in the William Dalton Survey, Abstract Number 72 Rockwall County, Texas and being portions of those tracts of land conveyed to Mike Peoples, according to the documents filed of record in Volume 1679, Page 190, Volume 1679, Page 196, Volume 173, Page 752 and Volume 184, Page 522, Deed Records Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

**BEGINNING** at a point for the northeast corner of that tract of land conveyed to the City of Rockwall, Texas according to the document filed of record in Volume 58, Page 191, (D.R.R.C.T.) same being the northwest corner of the tract of land described herein;

**THENCE**, North 89degrees 31minutes 25seconds East, a distance of 485.01 feet to a point for a corner of this tract;

**THENCE**, North 00degrees 28minutes 35seconds West, a distance of 10.64 feet to a point for a corner of this tract;

**THENCE**, North 89degrees 17minutes 06seconds East, a distance of 1058.46 feet to a point for the northwest corner of that tract of land conveyed to Donnie Peoples according to the document filed of record in Volume 188, Page 357 (D.R.R.C.T.) and being the common northeast corner of this tract;

**THENCE**, South 00degrees 32minutes 31seconds East, with the west line of said Donnie Peoples tract, same being common with the east line of this tract, a distance of 458.47 feet to a point for the southeast corner of this tract;

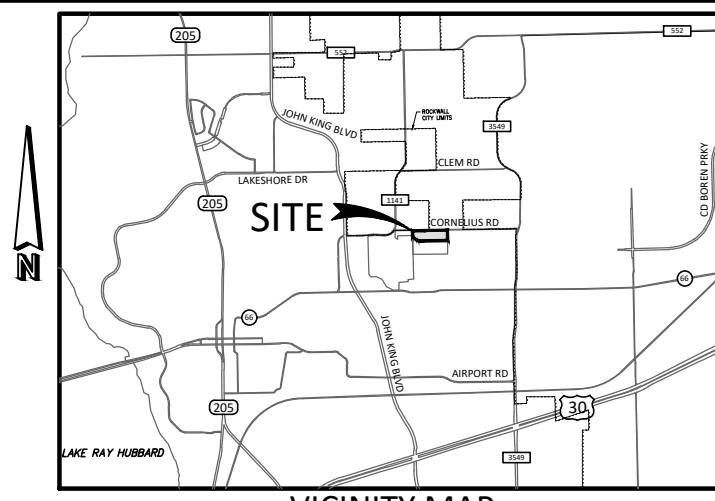
**THENCE**, South 89degrees 27minutes 29seconds West, leaving said common line, a distance of 1265.98 feet to a point for a corner of this tract and being the beginning of a curve to the right, having a central angle of  $49^{\circ} 15' 27''$ , a radius of 150.00 feet, and a long chord bearing and distance of North 65degrees 54minutes 48seconds West, 125.02 feet;

**THENCE**, with said curve to the right an arc distance of 128.96 feet to a point for a corner of this tract and the beginning of a non-tangent curve to the left, having a central angle of  $26^{\circ} 09' 34''$ , a radius of 450.00 feet, and a long chord bearing and distance of North 54degrees 21minutes 52seconds West, 203.68 feet;

**THENCE**, with said curve to the left an arc distance of 205.46 feet to a point in the east line of Terraces Phase One, an addition to the City of Rockwall, Rockwall County, Texas according to the plat filed of record in Document Number 20240000000459 Plat Records Rockwall County, Texas for the most westerly southwest corner of this tract;

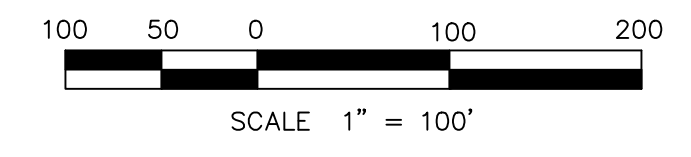
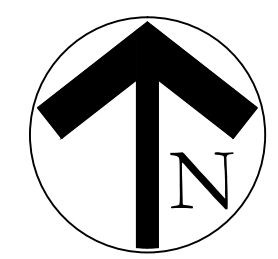
**THENCE**, North 01degrees 28minutes 22seconds West, with said east line, a distance of 63.06 feet to a point for the northeast corner of said addition, same being the common southeast corner of the above-mentioned City of Rockwall tract and a common corner of this tract;

**THENCE** North 00degrees 06minutes 44seconds West, with the east line of said City of Rockwall tract and common west line of this tract, a distance of 209.82 feet to the **POINT OF BEGINNING** and containing 677,846 square feet or 15.561 acres of land.



VICINITY MAP  
N.T.S.

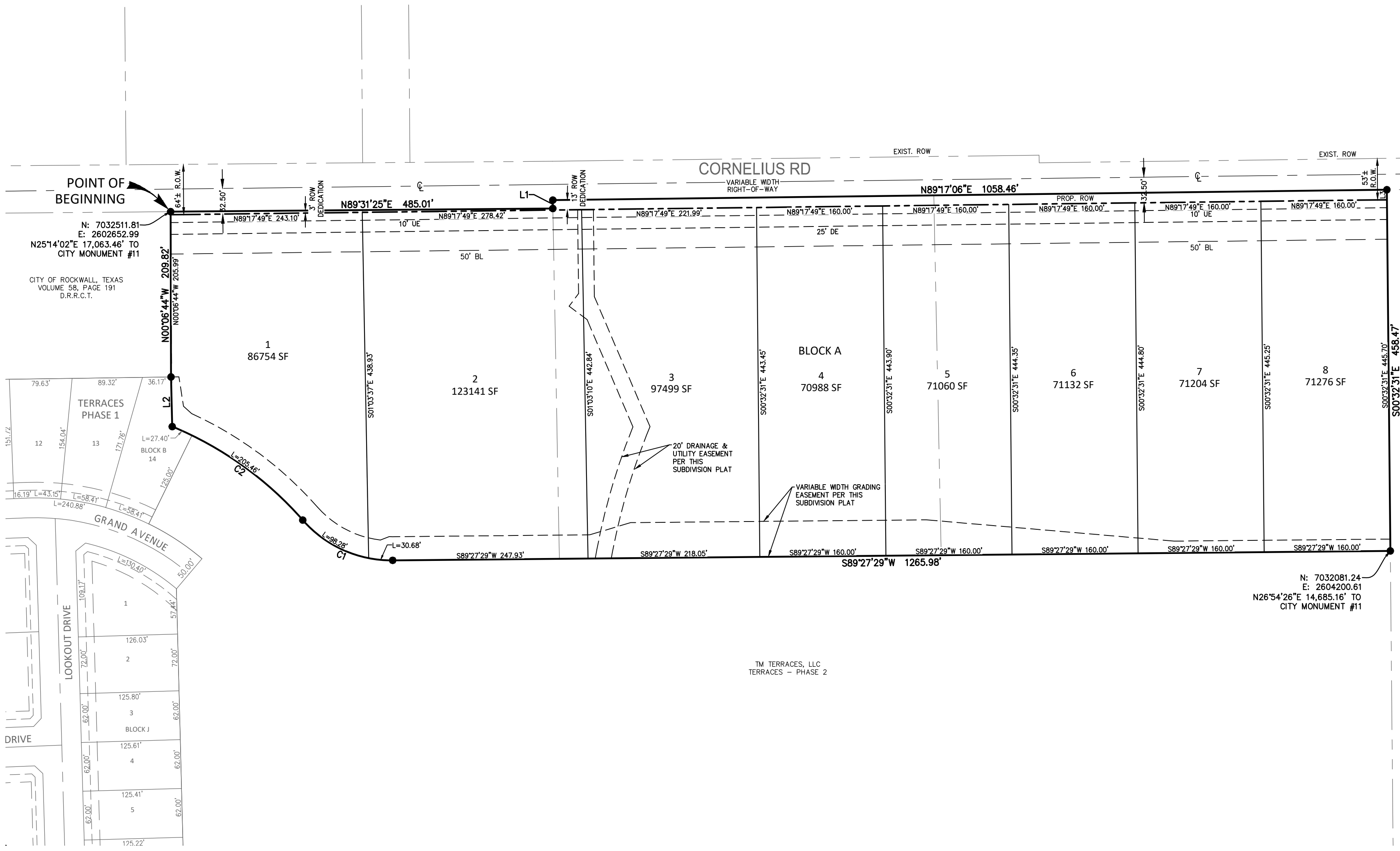
- LEGEND**
- Point of Curvature or Tangency on Center Line
  - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
  - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre  
BL Building Line  
C1 Curve No.  
<CM> Control Monument  
DE Drainage Easement  
DUE Drainage Utility Easement  
Esmt Easement  
L1 Line No.  
SF Square Feet  
UE Utility Easement  
VE Visibility Easement  
SE Sidewalk Easement  
D.R.R.C.T.= Deed Records of Rockwall County, Texas  
P.R.R.C.T.= Plat Records of Rockwall County, Texas



**FINAL PLAT  
LOTS 1-8, BLOCK A  
PEOPLES TRACT  
ADDITION**

BEING 8 LOTS  
15.561 ACRES OR 677,846 SQ. FT.  
8 SINGLE FAMILY LOTS  
SITUATED IN THE  
WILLIAM DALTON SURVEY, ABSTRACT NO. 72  
**CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS**  
P2024-009

March 28, 2024  
SHEET 1 OF 2



- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
  - SUBDIVIDER'S STATEMENT. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY WITHHOLDING UTILITIES AND BUILDING PERMITS.
  - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.
  - LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
  - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
  - PUBLIC IMPROVEMENT STATEMENT. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY.
  - DRAINAGE AND DETENTION EASEMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING AND REPLACING AND SHALL BEAR SOLE RESPONSIBILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
  - ALL OPEN SPACE, PARKS & GREEN BELTS SHALL BE PRIVATE AND MAINTAINED, REPLACED AND REPAIRED BY HOA/PROPERTY OWNER.
  - STREET APPURTENANCES. ALL DECORATIVE SIGNAGE, POSTS OR LIGHTS INSTALLED IN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED, AND REPLACED BY THE HOMEOWNER'S ASSOCIATION (HOA).
  - FIRE LANES. ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE LANE IMPROVEMENTS.

Line Table		
Line	Length	Direction
L1	10.64	N00° 28' 35" W
L2	63.06	N01° 28' 22" W
L3	12.77	N00° 32' 31" W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	128.96	150.00	049°15'27"	125.02	N65° 54' 48"W
C2	205.46	450.00	026°09'34"	203.68	N54° 21' 52"W

**Owner:**  
Mike Peoples  
P.O. Box 41  
Rockwall, Texas 75087

**Developer:**  
Michael Joyce Properties  
767 Justin Rd  
Rockwall, Texas 75087  
Phone: 512-965-6280

**Engineer/Surveyor:**  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite. 1200  
Plano, Texas 75074  
Phone: 972-201-3100  
Contact: Tom Dayton, PE



**LEGAL DESCRIPTION:**

BEING a tract of land situated in the William Dalton Survey, Abstract Number 72 Rockwall County, Texas and being portions of those tracts of land conveyed to Mike Peoples, according to the documents filed of record in Volume 1679, Page 190, Volume 1679, Page 196, Volume 173, Page 752 and Volume 184, Page 522, Deed Records Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

BEGINNING at a point for the northeast corner of that tract of land conveyed to the City of Rockwall, Texas according to the document filed of record in Volume 58, Page 191, (D.R.R.C.T.) same being the northwest corner of the tract of land described herein;

THENCE, North 89 degrees 31 minutes 25 seconds East, a distance of 485.01 feet to a point for a corner of this tract;

THENCE, North 00 degrees 28 minutes 35 seconds West, a distance of 10.64 feet to a point for a corner of this tract;

THENCE, North 89 degrees 17 minutes 06 seconds East, a distance of 1058.46 feet to a point for the northwest corner of that tract of land conveyed to Donnie Peoples according to the document filed of record in Volume 188, Page 357 (D.R.R.C.T.) and being the common northeast corner of this tract;

THENCE, South 00 degrees 32 minutes 31 seconds East, with the west line of said Donnie Peoples tract, same being common with the east line of this tract, a distance of 458.47 feet to a point for the southeast corner of this tract;

THENCE, South 89 degrees 27 minutes 29 seconds West, leaving said common line, a distance of 1265.98 feet to a point for a corner of this tract and being the beginning of a curve to the right, having a central angle of 49° 15' 27", a radius of 150.00 feet, and a long chord bearing and distance of North 65 degrees 54 minutes 48 seconds West, 125.02 feet;

THENCE, with said curve to the right an arc distance of 128.96 feet to a point for a corner of this tract and the beginning of a non-tangent curve to the left, having a central angle of 26° 09' 34", a radius of 450.00 feet, and a long chord bearing and distance of North 54 degrees 21 minutes 52seconds West, 203.68 feet;

THENCE, with said curve to the left an arc distance of 205.46 feet to a point in the east line of Terraces Phase One, an addition to the City of Rockwall, Rockwall County, Texas according to the plat filed of record in Document Number 2024000000459 Plat Records Rockwall County, Texas for the most westerly southwest corner of this tract;

THENCE, North 01 degrees 28 minutes 22 seconds West, with said east line, a distance of 63.06 feet to a point for the northeast corner of said addition, same being the common southeast corner of the above-mentioned City of Rockwall tract and a common corner of this tract;

THENCE North 00 degrees 06 minutes 44 seconds West, with the east line of said City of Rockwall tract and common west line of this tract, a distance of 209.82 feet to the POINT OF BEGINNING and containing 677,846 square feet or 15.561 acres of land.

**OWNER'S CERTIFICATION:**

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

I, the undersigned owner of the land shown on this plat, and designated herein as the PEOPLES TRACT subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the PEOPLES TRACT subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of there respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my (our) successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Signature \_\_\_\_\_  
Name \_\_\_\_\_  
Title \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, of Micheal L. Peoples, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Notary public in and for the State of Texas

\_\_\_\_\_  
My Commission Expires

**SURVEYOR'S CERTIFICATE:**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

\_\_\_\_\_  
RYAN S. REYNOLDS, R.P.L.S.  
Texas Registered Professional Land Surveyor No. 6385.

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Notary public for and in the State of Texas

My commission expires: \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairperson

\_\_\_\_\_  
Date

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas be approved by the City Council of the City of Rockwall on \_\_\_\_ day of \_\_\_\_\_, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

**FINAL PLAT  
LOTS 1-8, BLOCK A  
PEOPLES TRACT  
ADDITION**

BEING 8 LOTS  
15.561 ACRES OR 677,846 SQ. FT.  
8 SINGLE FAMILY LOTS

SITUATED IN THE  
WILLIAM DALTON SURVEY, ABSTRACT NO. 72  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
P2024-009

March 28, 2024

SHEET 2 OF 2

Owner:  
Mike Peoples  
P.O. Box 41  
Rockwall, Texas 75087

Developer:  
Michael Joyce Properties  
767 Justin Rd  
Rockwall, Texas 75087  
Phone: 512-965-6280

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite. 1200  
Plano, Texas 75074  
Phone: 972-201-3100  
Contact: Tom Dayton, PE







# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2024  
**APPLICANT:** Ryan Joyce; *Michael Joyce Properties*  
**CASE NUMBER:** P2024-011; *Final Plat for Phase 2 of the Terraces Subdivision*

---

### SUMMARY

Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LLC for the approval of a *Final Plat* for the Terraces Subdivision consisting of 82 single-family residential lots on a 21.648-acre tract of land being identified as a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, generally located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.

### PLAT INFORMATION

- ☑ Purpose. The applicant is requesting the approval of a *Final Plat* for a 21.648-acre tract of land (*i.e. a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72*) for the purpose of establishing Phase 2 of the Terraces Subdivision, which will consist of 82 single-family residential lots and three (3) open space lots (*i.e. Lots 15-62, Block B; Lots 8-23, Block J; Lots 1-22, Block K, Terraces Phase 2 Subdivision*). Staff should note that the applicant has concurrently submitted a PD Site Plan [*Case No. SP2024-016*] in accordance with the procedures contained within the Planned Development District Ordinance.
- ☑ Background. The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 18, 2022, the City Council approved a zoning change [*Case No. Z2022-010; Ordinance No. 22-22*] from Agricultural (AG) District to Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses for Phase 1 of the Terraces Subdivision. On May 16, 2022, the City Council approved a preliminary plat [*Case No. P2022-015*] and a master plat [*Case No. P2022-016*] for Phase 1 of the Terraces Subdivision. On September 16, 2022, the City Council approved a zoning change [*Case No. Z2022-038; Ordinance No. 22-37*] to amend Planned Development District 93 (PD-93) to include the subject property. On October 17, 2022, the City Council approved a preliminary plat [*Case No. P2022-049*] and a master plat [*Case No. P2022-048*] for the subject property.
- ☑ Parks Board. On April 2, 2024, the Parks and Recreation Board reviewed the *Final Plat* and made the following recommendations concerning the proposed subdivision:
  - (1) The property owner shall pay *Pro-Rata Equipment* fees of \$53,152.40 (*i.e. \$648.20x 82Lots*).
  - (2) The property owner shall pay *Cash in Lieu of Land* fees of \$56,634.94 (*i.e. \$690.67x 82 Lots*).
  - (3) The park fees will be used to provide amenity to the four (4) acre tract of land (*i.e. Tract 13-01 of the W. M. Dalton Survey, Abstract No. 72*) owned by the City of Rockwall north of the subject property in accordance with *Ordinance No. 22-37 (i.e. Planned Development District 93 [PD-93])*. The property owner shall provide receipts to the Director of Parks and Recreation showing that the amenities provided are equal to or greater than the fees assessed.
- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical

modifications, submittal requirements, and conformance to the items listed in the Conditions of Approval section of this case memo.

- Conditions of Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of a Final Plat for Phase 2 of the Terraces Subdivision, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to release of the civil engineering plans; and,
- (2) The development shall adhere to the Parks and Recreation Department's recommendations as outlined above in this case memo; and,
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. P2024-011

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) 1
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1
- FINAL PLAT (\$300.00 + \$20.00 ACRE) 1
- REPLAT (\$300.00 + \$20.00 ACRE) 1
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) 1
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 & 2
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2

**NOTES:**

1 IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
2 A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS 2031 Terraces Blvd, Rockwall, TX 75087

SUBDIVISION ABS A0122, MB Jones, Tract 4-01

LOT

BLOCK

GENERAL LOCATION Approximately 1250 feet east of the intersection John King & FM 1141 South of 1141

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING PD-93

CURRENT USE Single Family

PROPOSED ZONING

PROPOSED USE

ACREAGE 21.648

LOTS [CURRENT] 82

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

OWNER TM Terraces, LLC

APPLICANT Michael Joyce Properties

CONTACT PERSON Bret Pedigo

CONTACT PERSON Ryan Joyce

ADDRESS 4416 W. Lovers Lane, Suite 200

ADDRESS 767 Justin Road

CITY, STATE & ZIP Dallas, TX 76209

CITY, STATE & ZIP Rockwall, TX 75087

PHONE

PHONE 512-965-6280

E-MAIL

E-MAIL ryan@michaeljoyceproperties.com

**NOTARY VERIFICATION [REQUIRED]**

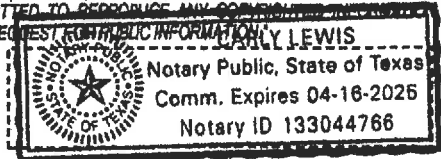
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRET L. PEDIGO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 732.96 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15<sup>th</sup> DAY OF MARCH 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY CORRECTIONS SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15<sup>th</sup> DAY OF MARCH 2024

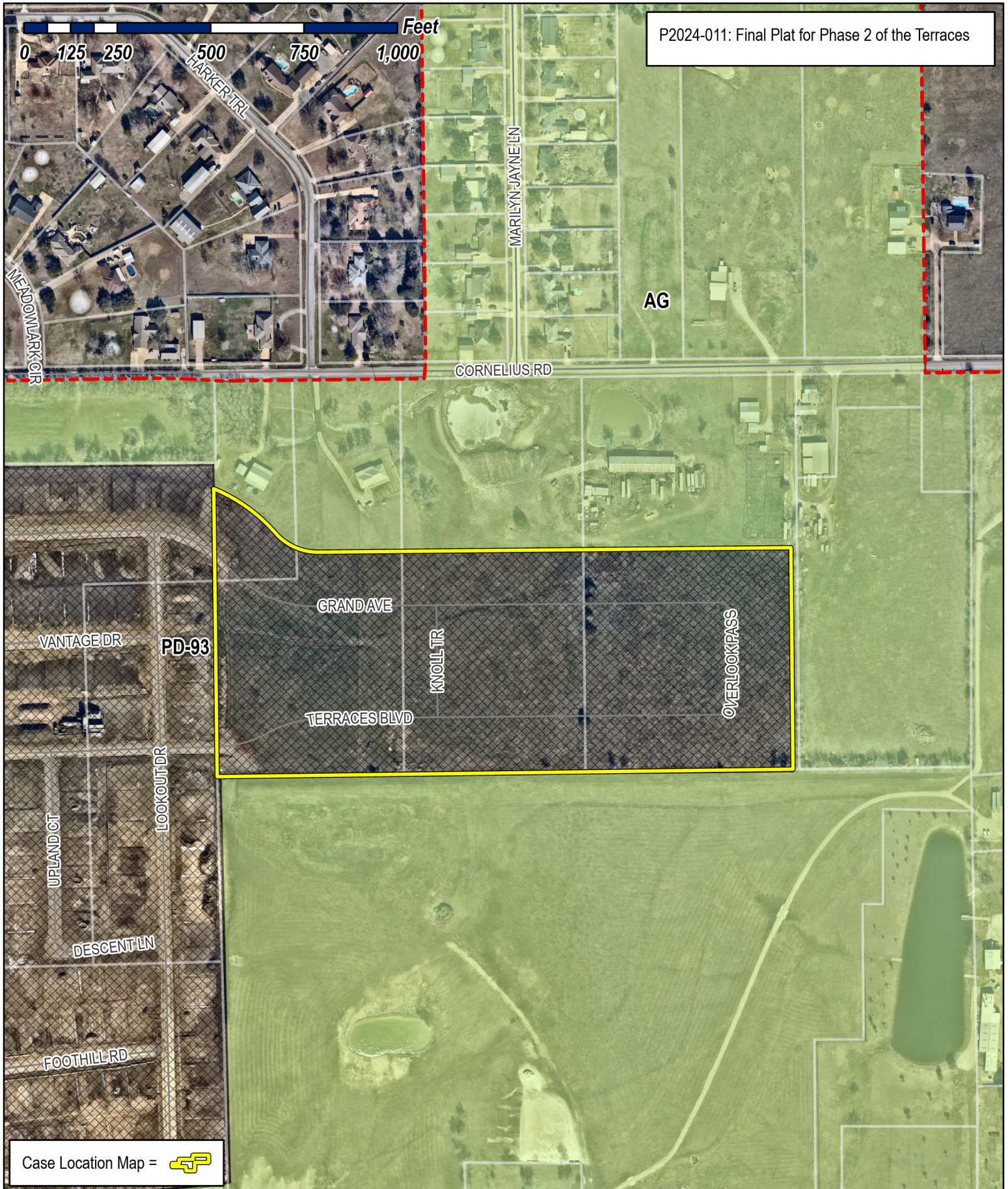
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES 4-16-25





P2024-011: Final Plat for Phase 2 of the Terraces

Case Location Map = 



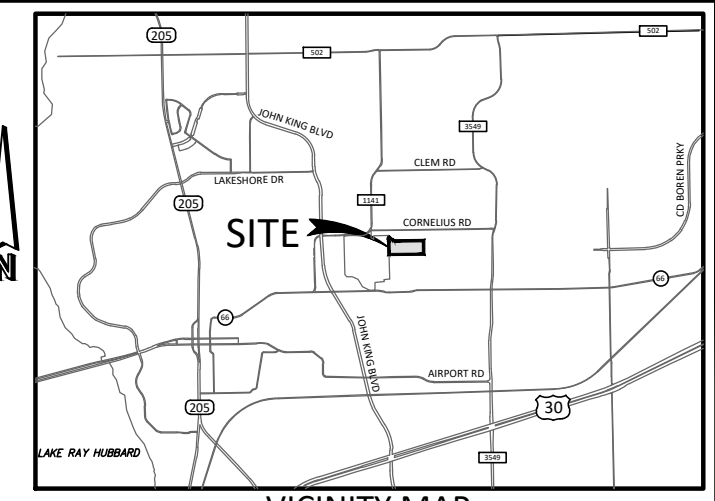
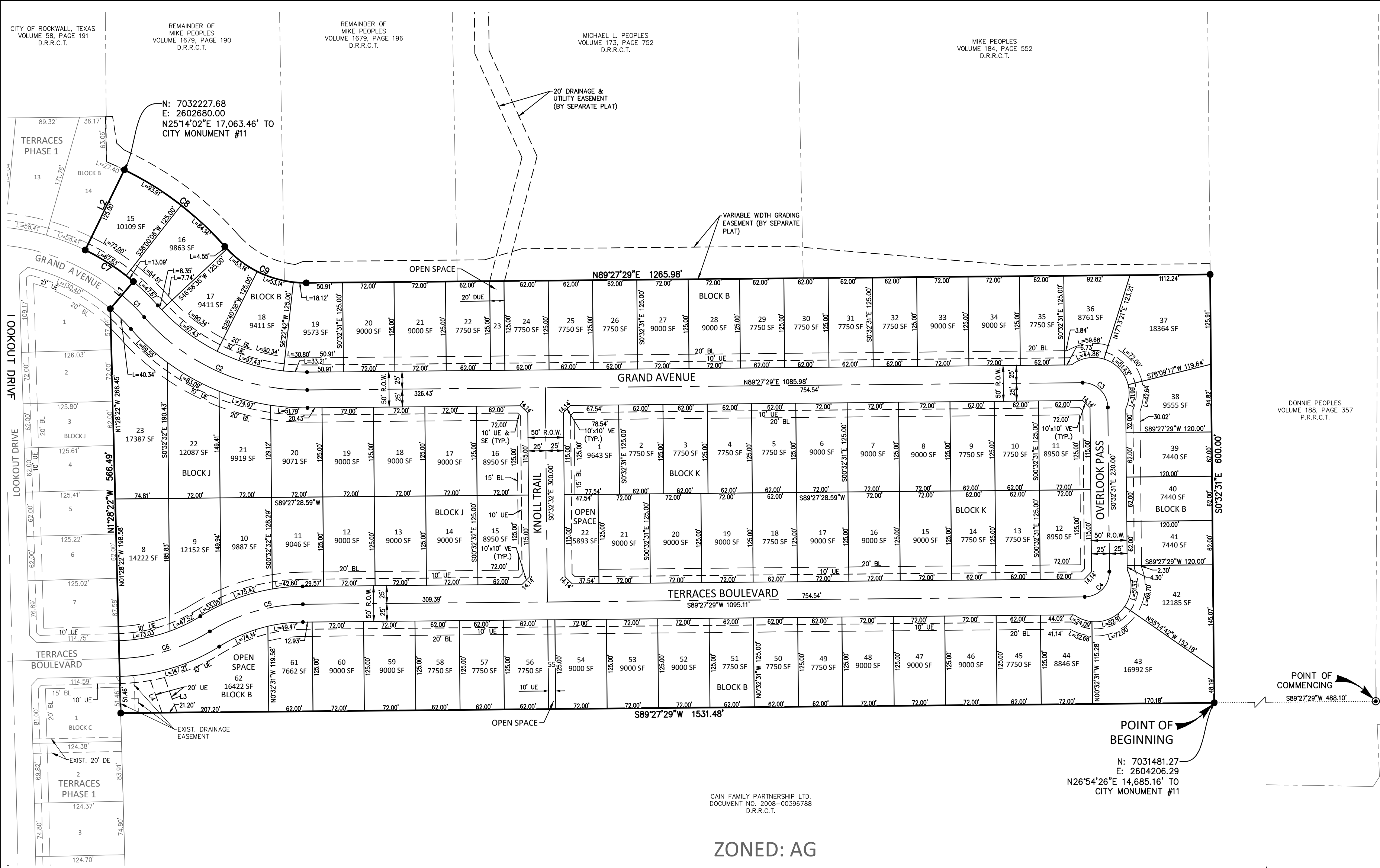
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

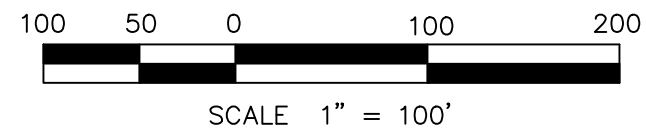
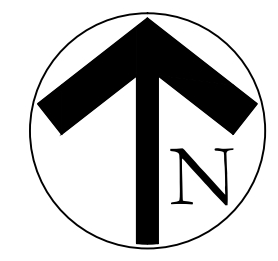
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







- LEGEND**
- Point of Curvature or Tangency on Center Line
  - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
  - 1/2" IRF (unless otherwise noted)
  - AC Acre
  - BL Building Line
  - C1 Curve No.
  - <CM> Control Monument
  - DE Drainage Easement
  - DUE Drainage Utility Easement
  - Esmt Easement
  - L1 Line No.
  - SF Square Feet
  - UE Utility Easement
  - VE Visibility Easement
  - SE Sidewalk Easement
  - D.R.R.C.T.= Deed Records of Rockwall County, Texas
  - P.R.R.C.T.= Plat Records of Rockwall County, Texas



**FINAL PLAT  
TERRACES  
PHASE 2**

LOTS 15-62, BLOCK B; LOTS 8-23, BLOCK J;  
LOTS 1-22, BLOCK K  
21.648 ACRES OR 942,975 SQ. FT.  
82 SINGLE FAMILY LOTS,  
4 OPEN SPACE LOTS  
SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,  
AND ALL OF TRACT 13 & 25 OF THE  
WILLIAM DALTON SURVEY, ABSTRACT NO. 72  
AND TRACT 4 & 4-01 OF THE  
M.B. JONES SURVEY, ABSTRACT NO. 122  
**CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS**  
P2022-049

March 5, 2024  
EXIST. ZONING: PD-93  
LAND USE: SF  
SHEET 1 OF 2

**JOHNSON VOLK  
CONSULTING**  
TBPELS: Engineering Firm No. 119652 / Land Surveying Firm No. 10194033  
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

**Owner/Applicant:**  
TM Terraces, LLC  
4416 W. Lovers Ln, Suite 200  
Dallas, Texas 75209  
Phone: 214-577-1431

**Engineer/Surveyor:**  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite. 1200  
Plano, Texas 75074  
Phone: 972-201-3100  
Contact: Tom Dayton, PE

CAIN FAMILY PARTNERSHIP LTD.  
DOCUMENT NO. 2008-00396788  
D.R.R.C.T.

**ZONED: AG**

- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
  - ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
  - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.
  - LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PLAT 48139C0325F DATED JUNE 3, 2013.
  - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
  - IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
  - PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
  - ALL OPEN SPACE, PARKS & GREEN BELTS SHALL BE PRIVATE AND MAINTAINED, REPLACED AND REPAIRED BY HOA/PROPERTY OWNER.
  - ALL NON-STANDARD SIGNS, LIGHTS, AND HARDWARE ARE TO BE MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER OR HOA.

Line Table		
Line	Length	Direction
L1	50.00	N40° 18' 38"E
L2	125.00	N26° 02' 41"E
L3	52.23	N19° 53' 05"W
L4	47.98	N19° 53' 05"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	44.01	300.00	008°24'17"	43.97	N45° 29' 13"W
C2	257.91	300.00	049°15'27"	250.04	S65° 54' 48"E
C3	54.98	35.00	090°00'00"	49.50	N45° 32' 31"W
C4	54.98	35.00	090°00'00"	49.50	N44° 27' 29"E
C5	137.34	250.00	031°28'34"	135.62	S73° 43' 11"W
C6	133.88	250.00	030°40'58"	132.29	N73° 19' 23"E
C7	80.92	325.00	014°15'57"	80.71	N56° 49' 20"W
C8	178.05	450.00	022°40'14"	176.89	S52° 37' 12"E
C9	128.96	150.00	049°15'27"	125.02	S65° 54' 48"E



**LEGAL DESCRIPTION:**

BEING a tract of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72, City of Rockwall, Rockwall County, Texas and being part of that tract of land described in Deed to Michael L. Peoples, as recorded in Volume 173, Page 752, Deed Records, Rockwall County, Texas and being part of those tracts of land described in Deed to Mike Peoples, as recorded in Volume 184, Page 522 and Volume 1679, Page 190 and Volume 1679, Page 196, Deed Records, Rockwall County, Texas and being and being more particularly described as follows:

COMMENINCING at a 1/2 inch iron rod found for the common southeast corner of that tract of land described in Deed to Donnie Peoples, as recorded in Volume 188, Page 357, Deed Records, Rockwall County, Texas and northeast corner of that tract of land described in Deed to Cain Family Partnership Ltd., as recorded in Document No. 2008-00396788, Deed Records, Rockwall County, Texas;

THENCE South 89 degrees 27 minutes 29 seconds West, with the common south line of said Donnie Peoples tract and north line of said Cain Family Partnership Ltd. tract, a distance of 488.10 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the POINT OF BEGINNING of the tract of land herein described, said point being the common southwest corner of said Donnie Peoples tract and southeast corner of said Mike Peoples tract recorded in Volume 184, Page 522;

THENCE South 89 degrees 27 minutes 29 seconds West, with the north line of said Cain Family Partnership Ltd. tract, a distance of 1,531.48 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of said Cain Family Partnership Ltd. tract and an interior ell corner of said Mike Peoples tract recorded in Volume 1679, Page 196;

THENCE North 01 degrees 28 minutes 22 seconds West, a distance of 566.49 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 40 degrees 18 minutes 38 seconds East, a distance of 50.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a non-tangent curve to the left having a central angle of 14 degrees 15 minutes 57 seconds, a radius of 325.00 feet and a chord bearing and distance of North 56 degrees 49 minutes 20 seconds West, 80.71 feet;

THENCE Northwesterly, with said curve to the left, an arc distance of 80.92 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for a corner;

THENCE North 26 degrees 02 minutes 41 seconds East, a distance of 125.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for a corner at the beginning of a non-tangent curve to the right having a central angle of 22 degrees 40 minutes 14 seconds, a radius of 450.00 feet and a chord bearing and distance of South 52 degrees 37 minutes 12 seconds East, 176.89 feet;

THENCE Southeasterly, with said curve to the left, an arc distance of 128.96 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a reverse curve to the left having a central angle of 49 degrees 15 minutes 27 seconds, a radius of 150.00 feet and a chord bearing and distance of South 65 degrees 54 minutes 48 seconds East, 125.02 feet;

THENCE North 89 degrees 27 minutes 29 seconds East, a distance of 1,265.98 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner in the common east line of said Mike Peoples tract recorded in Volume 184, Page 522 and west line of said Donnie Peoples tract;

THENCE South 00 degrees 32 minutes 31 seconds East, with said common line, a distance of 600.00 feet to the POINT OF BEGINNING and containing 21.648 acres of land more or less.

**OWNER'S CERTIFICATION:**

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the TERRACES – PHASE 2 subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the TERRACES – PHASE 2 subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of these respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Signature \_\_\_\_\_  
Name \_\_\_\_\_  
Title \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, of TM TERRACES, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Notary public in and for the State of Texas

\_\_\_\_\_  
My Commission Expires

**SURVEYOR'S CERTIFICATE:**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RYAN S. REYNOLDS, R.P.L.S.  
Texas Registered Professional Land Surveyor No. 6385.

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Notary public for and in the State of Texas

My commission expires: \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairperson

\_\_\_\_\_  
Date

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas be approved by the City Council of the City of Rockwall on \_\_\_\_ day of \_\_\_\_\_, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

# FINAL PLAT TERRACES PHASE 2

LOTS 15-62, BLOCK B; LOTS 8-23, BLOCK J;  
LOTS 1-22, BLOCK K

21.648 ACRES OR 942,975 SQ. FT.

82 SINGLE FAMILY LOTS,

4 OPEN SPACE LOTS

SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,

AND ALL OF TRACT 13 & 25 OF THE

WILLIAM DALTON SURVEY, ABSTRACT NO. 72

AND TRACT 4 & 4-01 OF THE

M.B. JONES SURVEY, ABSTRACT NO. 122

CITY OF ROCKWALL,

ROCKWALL COUNTY, TEXAS

P2022-049

March 5, 2024

EXIST. ZONING: PD-93

LAND USE: SF

SHEET 2 OF 2

Owner/Applicant:  
TM Terraces, LLC  
4416 W. Lovers Ln, Suite 200  
Dallas, Texas 75209  
Phone: 214-577-1431

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite. 1200  
Plano, Texas 75074  
Phone: 972-201-3100  
Contact: Tom Dayton, PE





**TO:** Planning and Zoning Commission  
**FROM:** Henry Lee, *Senior Planner*  
**DATE:** April 9, 2024  
**SUBJECT:** SP2024-016; *PD Site Plan for the Terraces Phase 2 Subdivision*

The applicant, Ryan Joyce of Michael Joyce Properties -- *on behalf of Bret Pedigo of TM Terraces, LLC.* --, is requesting the approval of a Site Plan for Phase 2 of the Terraces Subdivision. The subject property is a 21.648-acre tract of land (*i.e. a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72*) generally located south of the intersection of Cornelius Road and FM-1141. Concurrently with this *Site Plan*, the applicant has submitted a *Final Plat* [Case No. P2024-011] for Phase 2 of the subdivision.

The subject property is zoned Planned Development District 93 (PD-93) [Ordinance No. 22-47] for Single-Family 10 (SF-10) District land uses. Based on this Planned Development District, the proposed subdivision will consist of 263 single-family lots and be composed of five (5) lot types (*i.e. [Type A Lots] 9, 100' x 130' lots; [Type B Lots] 26, 82' x 120' lots; [Type C Lots] 86, 72' x 110' lots; [Type D] 34, 72' x 110'; [Type E] 108, 62' x 110' lots*). On April 17, 2023, the City Council approved a final plat [Case No. P2022-049] for Phase 1 of the Terraces Subdivision. In accordance with the Concept Plan contained within Planned Development District 93 (PD-93) [Ordinance No. 22-47], Phase 1 included 181 single-family lots. Concurrently with this *Site Plan*, the applicant has submitted a *Final Plat* [Case No. P2024-011] for the remaining 82 single-family lots contained within Phase 2 of the subdivision. Below are the density and dimensional requirements that the Terraces Subdivision is subject to per the *Ordinance No. 22-47*:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B	C	D	E
Minimum Lot Width <sup>(1)</sup>	100'	82'	72'	72'	62'
Minimum Lot Depth	130'	120'	115'	110'	110'
Minimum Lot Area	13,000 SF	10,000 SF	9,000 SF	8,400 SF	7,200 SF
Minimum Front Yard Setback <sup>(2), (5) &amp; (6)</sup>	25'	20'	20'	20'	20'
Minimum Side Yard Setback	15'	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) <sup>(2), (5) &amp; (7)</sup>	15'	15'	15'	15'	15'
Minimum Length of Driveway Pavement	20'	20'	20'	20'	20'
Maximum Height <sup>(3)</sup>	35'	35'	35'	35'	35'
Minimum Rear Yard Setback <sup>(4)</sup>	25'	20'	20'	20'	20'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,400 SF	2,200 SF	2,200 SF	2,200 SF	2,000 SF
Maximum Lot Coverage	45'	45'	45'	65'	65'

General Notes:

- <sup>1</sup>: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2</sup>: The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3</sup>: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4</sup>: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- <sup>5</sup>: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- <sup>6</sup>: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- <sup>7</sup>: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.



In accordance with the *PD Site Plan* requirements outlined within the PD Ordinance [*Ordinance No. 22-47*] the applicant has submitted a site plan, landscape plan, and hardscape plan. The proposed *Site Plan* and *Landscape Plan* appear to conform to all requirements stipulated by *Ordinance No. 22-47*. The *Hardscape Plan* shows the required sidewalks and a fence exhibit that conform to the requirements stipulated by *Ordinance No. 22-47*. Since the request generally conforms to the requirements of Planned Development District 93 (PD-93) [*Ordinance No. 22-47*] and the Unified Development Code (UDC), this case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the April 9, 2024 Planning and Zoning Commission meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- OTHER APPLICATION FEES:
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>1</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2031 Terraces Blvd, Rockwall, TX 75087

SUBDIVISION ABS A0122, MB Jones, Tract 4-01

LOT

BLOCK

GENERAL LOCATION Approximately 1250 feet east of the intersection John King & FM 1141 South of 1141

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-93

CURRENT USE Single Family

PROPOSED ZONING

PROPOSED USE

ACREAGE 21.648

LOTS [CURRENT] 82

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER TM Terraces, LLC

APPLICANT Michael Joyce Properties

CONTACT PERSON Bret Pedigo

CONTACT PERSON Ryan Joyce

ADDRESS 4416 W. Lovers Lane, Suite 200

ADDRESS 767 Justin Road

CITY, STATE & ZIP Dallas, TX 76209

CITY, STATE & ZIP Rockwall, TX 75087

PHONE

PHONE 512-965-6280

E-MAIL

E-MAIL ryan@michaeljoyceproperties.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRET L. PEDIGO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

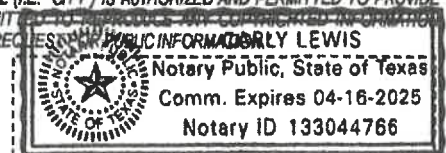
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 682.96 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15<sup>th</sup> DAY OF MARCH 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO APPROVE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION. **DRURY LEWIS**

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15<sup>th</sup> DAY OF MARCH 2024

OWNER'S SIGNATURE

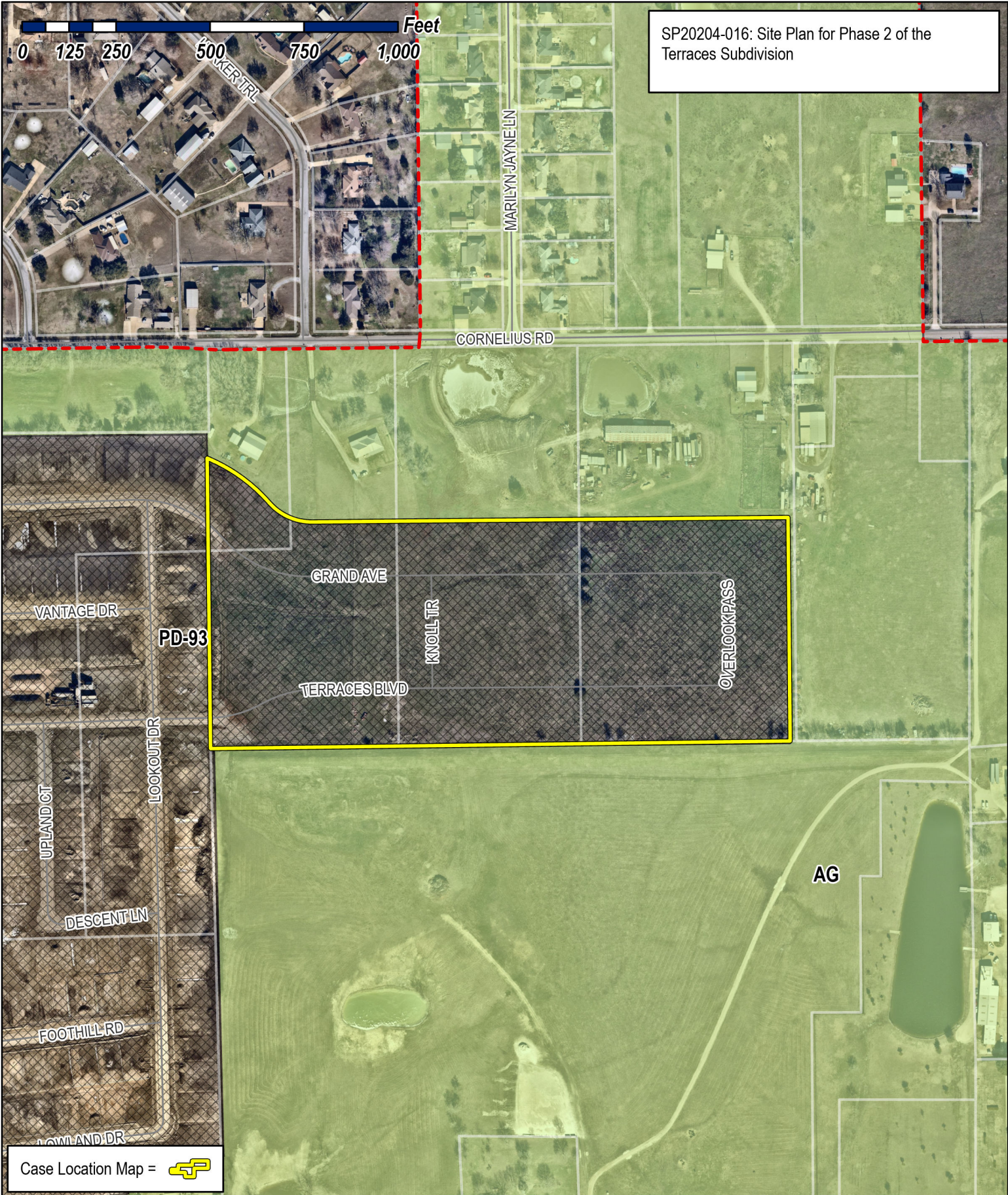
*[Handwritten signature of Bret Pedigo]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 4-16-25





SP20204-016: Site Plan for Phase 2 of the Terraces Subdivision



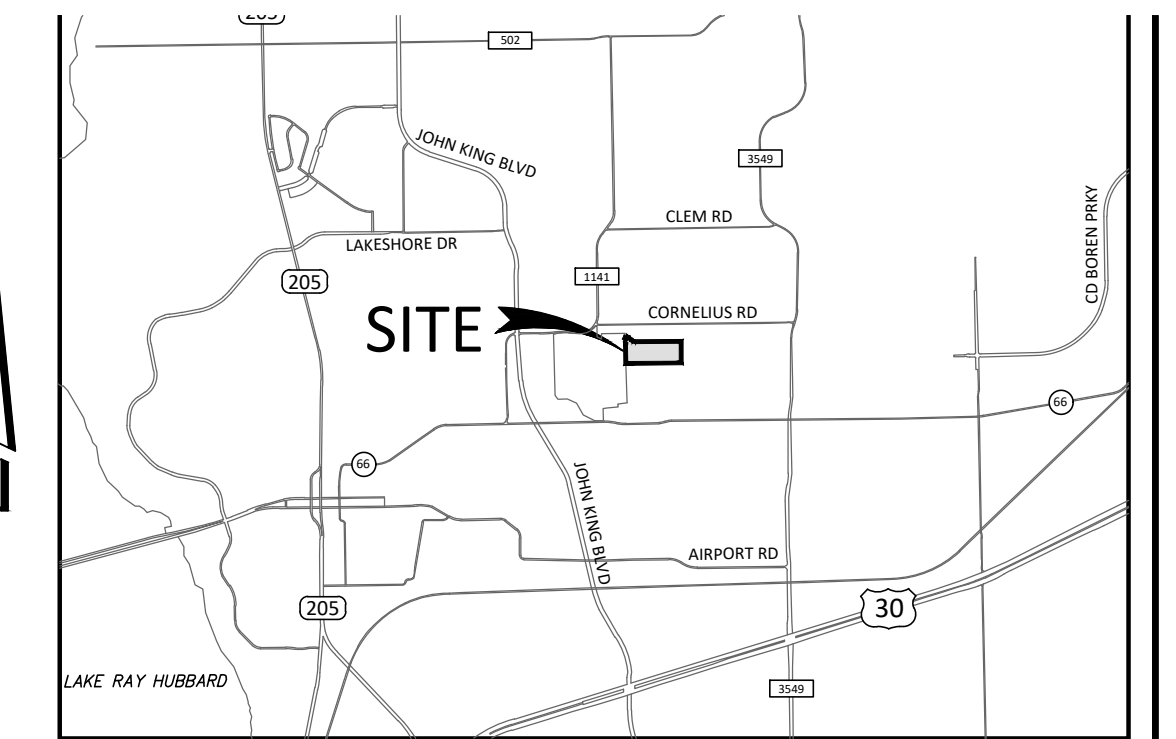
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







VICINITY MAP  
N.T.S.

**LEGEND**

- 6" PAVEMENT
- SIDEWALK (DEVELOPER)
- SIDEWALK (BUILDER)
- PROPOSED SIGNAGE
- PROPOSED WATER
- PROPOSED SEWER

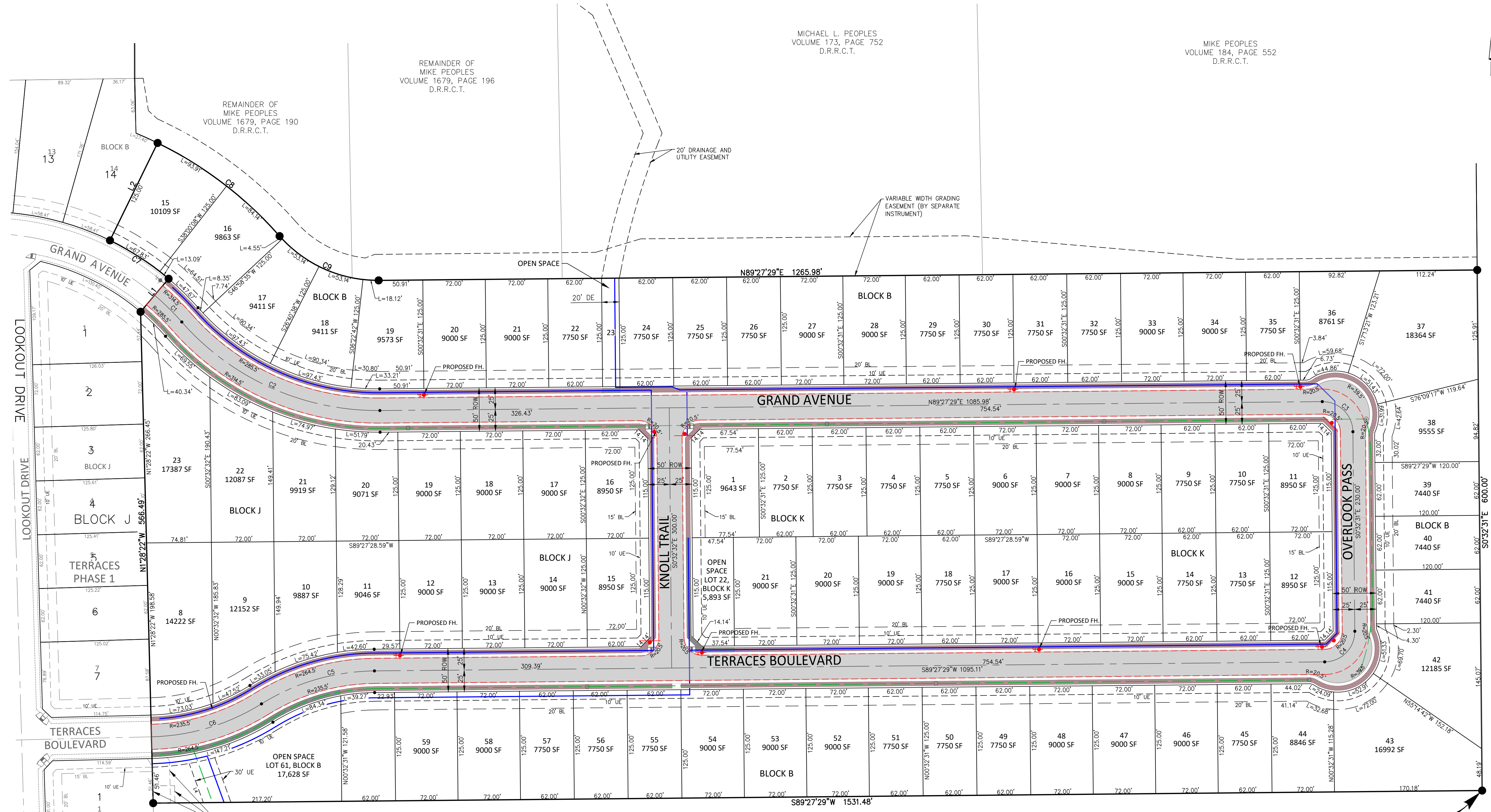
DONNIE PEOPLES  
VOLUME 188, PAGE 357  
P.R.R.C.T.

**SITE PLAN  
TERRACES  
PHASE 2**

LOTS 15-62, BLOCK B; LOTS 8-23, BLOCK J;  
LOTS 1-22, BLOCK K  
82 SINGLE FAMILY LOTS,  
4 OPEN SPACE LOTS  
SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,  
AND ALL OF TRACT 13 & 25 OF THE  
WILLIAM DALTON SURVEY, ABSTRACT NO. 72  
AND TRACT 4 & 4-01 OF THE  
M.B. JONES SURVEY, ABSTRACT NO. 122  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
SP2024-016

March 28, 2024  
EXIST. ZONING: PD-93  
LAND USE: SF

**JOHNSON VOLK  
CONSULTING**  
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



MICHAEL L. PEOPLES  
VOLUME 173, PAGE 752  
D.R.R.C.T.

MIKE PEOPLES  
VOLUME 184, PAGE 552  
D.R.R.C.T.

REMAINDER OF  
MIKE PEOPLES  
VOLUME 1679, PAGE 190  
D.R.R.C.T.

REMAINDER OF  
MIKE PEOPLES  
VOLUME 1679, PAGE 190  
D.R.R.C.T.

CAIN FAMILY PARTNERSHIP LTD.  
DOCUMENT NO. 2008-00396788  
D.R.R.C.T.

**ZONED: AG**

- NOTES:**
- INTERNAL SIDEWALKS ARE 5' WIDE.
  - DISTANCE BETWEEN ADJACENT PADS IS MIN. 12'

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on \_\_\_\_ day of \_\_\_\_ 2024.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_ 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning & Zoning

**Owner/Applicant:**  
TM Terraces, LLC  
4416 W. Lovers Ln, Suite 200  
Dallas, Texas 75209  
Phone: 214-577-1431

**Engineer/Surveyor:**  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite. 1200  
Plano, Texas 75074  
Phone: 972-201-3100  
Contact: Tom Dayton, PE

**BENCHMARKS**

CITY OF ROCKWALL MONUMENT NO. COR-10:  
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE.  
ELEVATION = PLAN 521.61' FIELD 521.57'

CITY OF ROCKWALL MONUMENT NO. COR-11:  
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF I-30.  
ELEVATION = PLAN 565.98' FIELD 566.02'

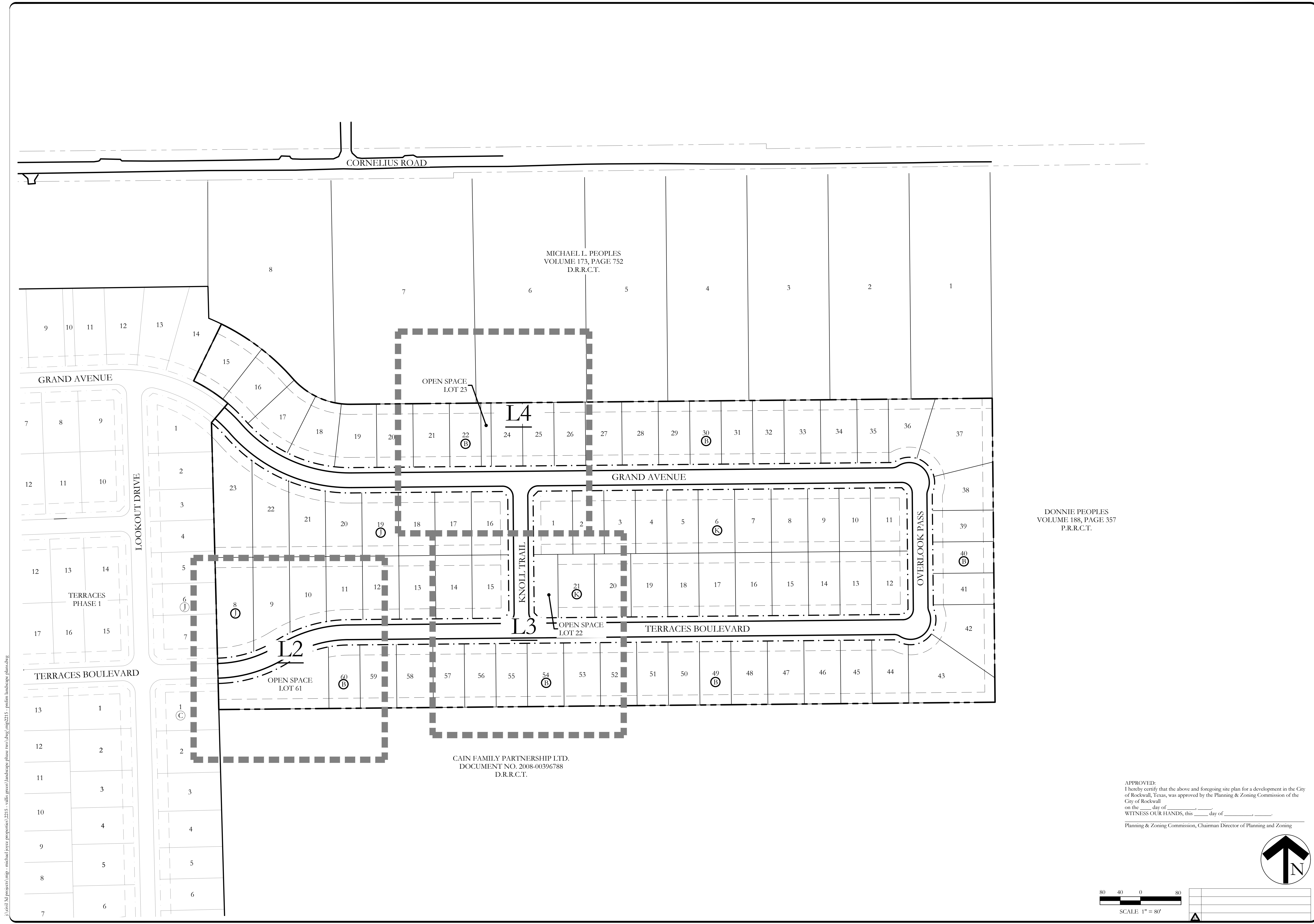
**Line Table**

Line	Length	Direction
L1	50.00	N40° 18' 38"E
L2	125.00	N26° 02' 41"E
L4	47.98	N19° 53' 05"W

**Curve Table**

Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	44.01	300.00	008°24'17"	43.97	N45° 29' 13"W
C2	257.91	300.00	049°15'27"	250.04	S65° 54' 48"E
C3	54.98	35.00	090°00'00"	49.50	N45° 32' 31"W
C4	54.98	35.00	090°00'00"	49.50	N44° 27' 29"E
C5	137.34	250.00	031°28'34"	135.62	S73° 43' 11"W
C6	133.88	250.00	030°40'58"	132.29	N73° 19' 23"E
C7	80.92	325.00	014°15'57"	80.71	N56° 49' 20"W
C8	178.05	450.00	022°40'14"	176.89	S52° 37' 12"E
C9	128.96	150.00	049°15'27"	125.02	S65° 54' 48"E



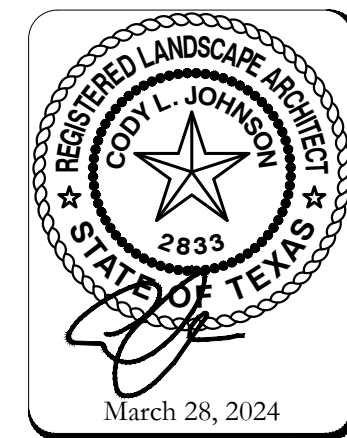


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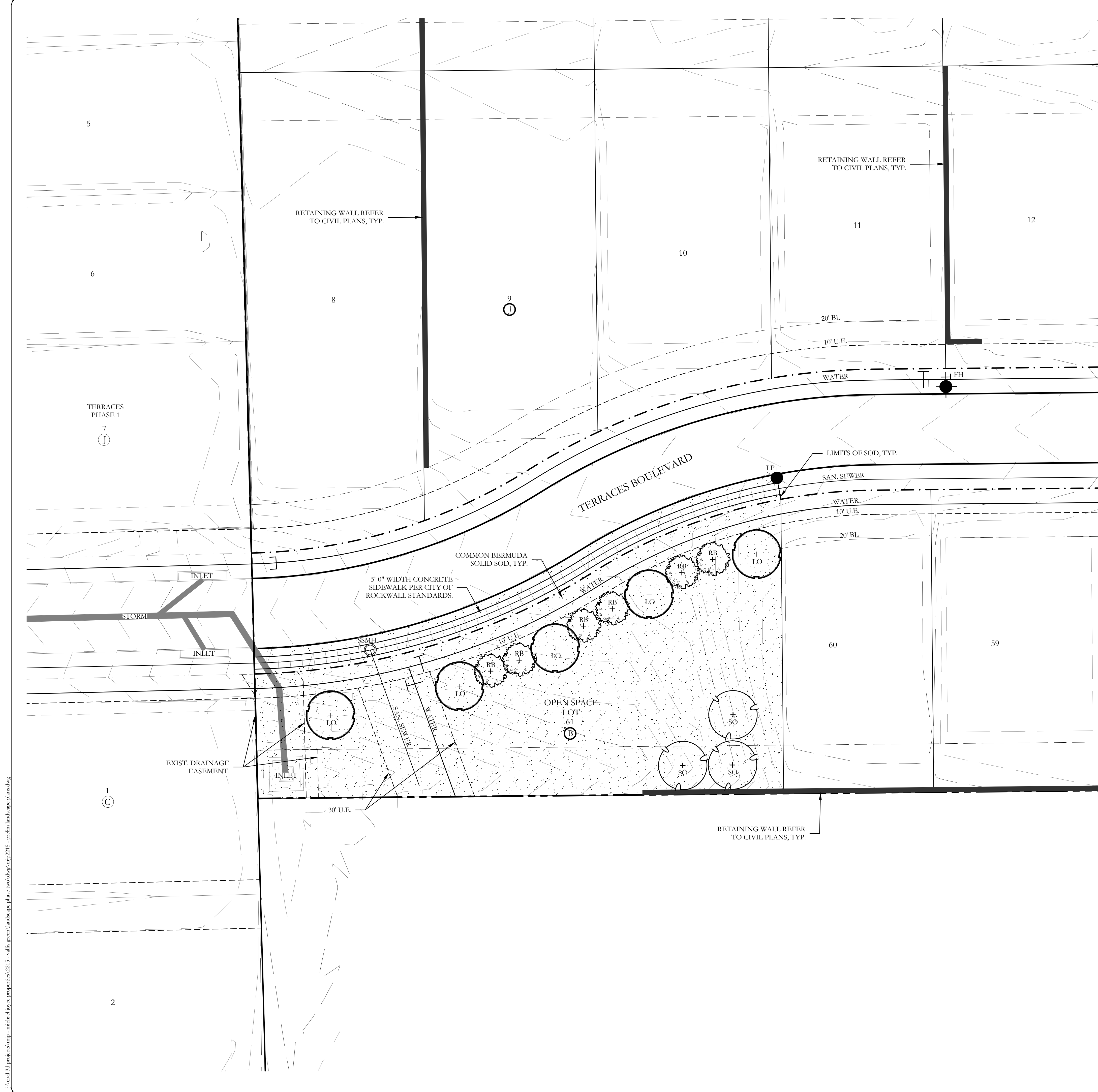
DONNIE PEOPLES  
 VOLUME 188, PAGE 357  
 P.R.R.C.T.

CAIN FAMILY PARTNERSHIP LTD.  
 DOCUMENT NO. 2008-00396788  
 D.R.R.C.T.

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 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2024.  
 Planning & Zoning Commission, Chairman Director of Planning and Zoning



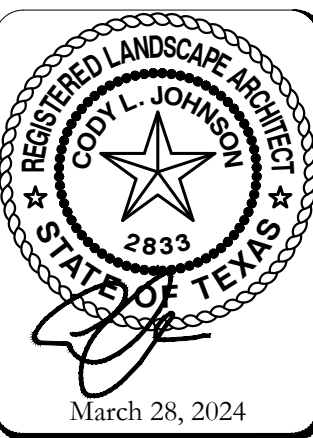
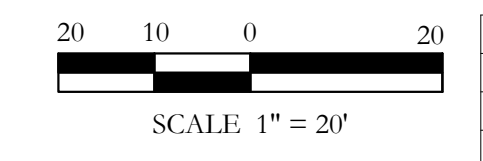
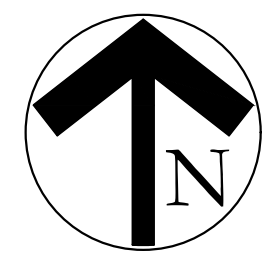




PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

- GENERAL LANDSCAPE NOTES**
- ANY EASEMENTS TO BE ESTABLISHED WILL BE IDENTIFIED AND PROVIDED AT TIME OF PLATTING.
  - GRAPHIC ILLUSTRATIONS IN THE OPEN SPACES ARE NOT INTENDED TO COMMUNICATE, SHOW, OR REPRESENT ACTUAL LAYOUT, OR DETAILED LANDSCAPE DESIGN.
  - ALL ROADS, SIDEWALKS, FIRE LANES, DRIVE AISLES AND INTERSECTIONS WILL COMPLY WITH THE CITY OF ROCKWALL ENGINEERING DESIGN STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT.
  - SIDEWALKS WILL BE CONSTRUCTED ALONG ALL CITY STREETS. INTERCONNECTIVITY WILL BE PROVIDED THAT MEETS CITY OF ROCKWALL CITY AND ADA STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT.
  - ALL DISTURBED AREAS WITHIN COMMON AREA LOTS AND STREET BUFFERS SHALL BE COMMON BERMUDA GRASS OR OKLAHOMA RIVER ROCK.
  - ALL LANDSCAPE AREAS SHOWN ON THESE PRELIMINARY LANDSCAPE PLANS SHALL RECEIVE A COMPLETE IRRIGATION SYSTEM.
  - NO TREES TO BE WITHIN 10' OF ANY PUBLIC WATER SEWER OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
  - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".

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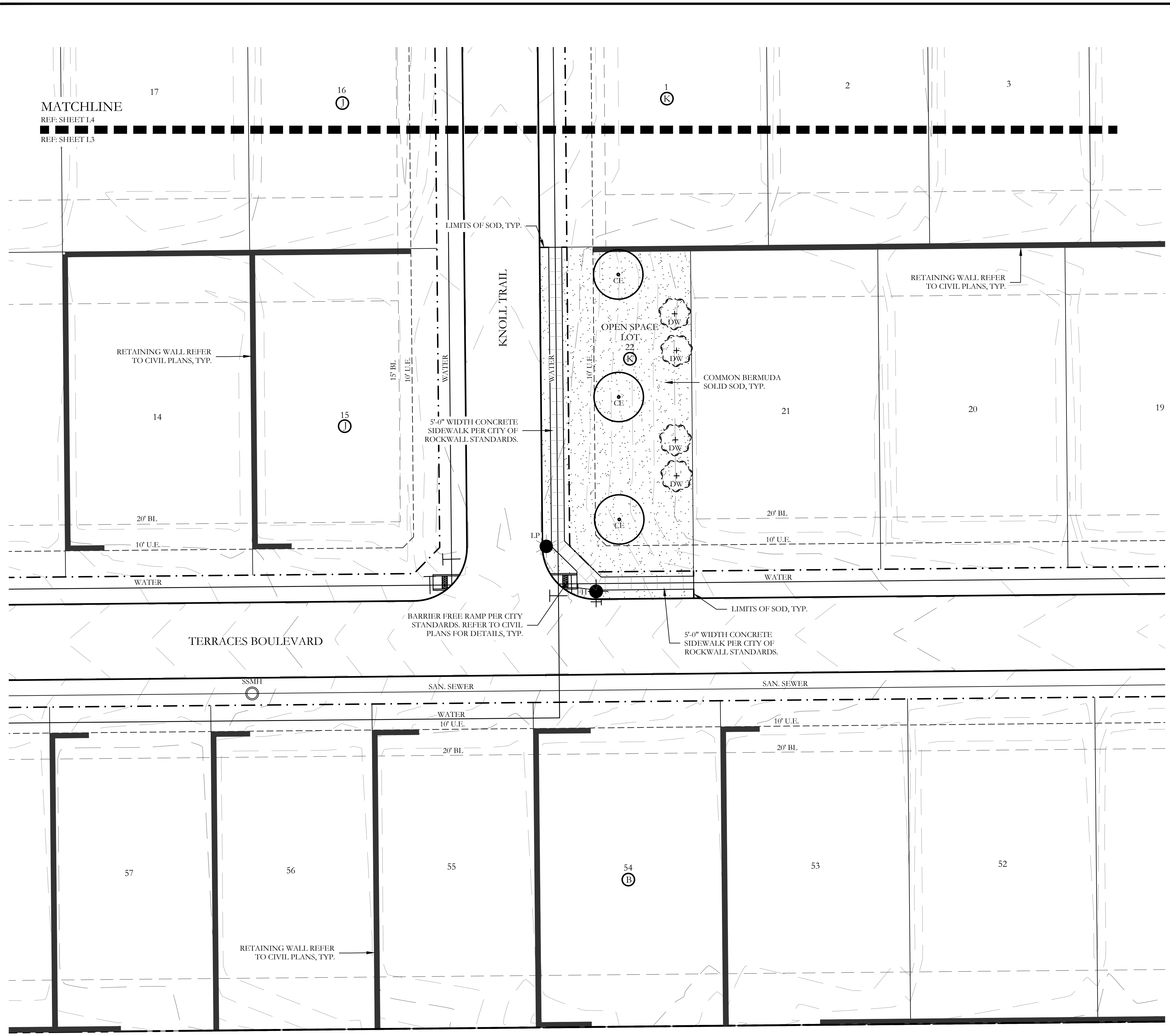


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SP2024-016



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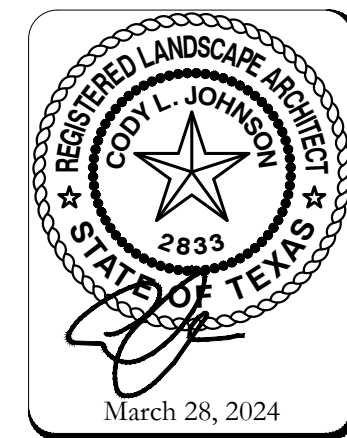
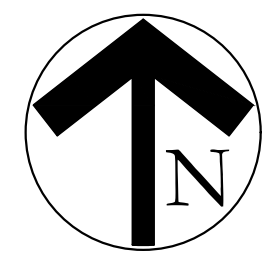
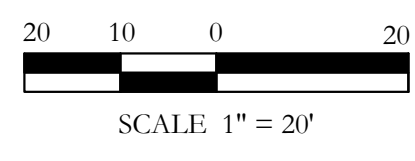


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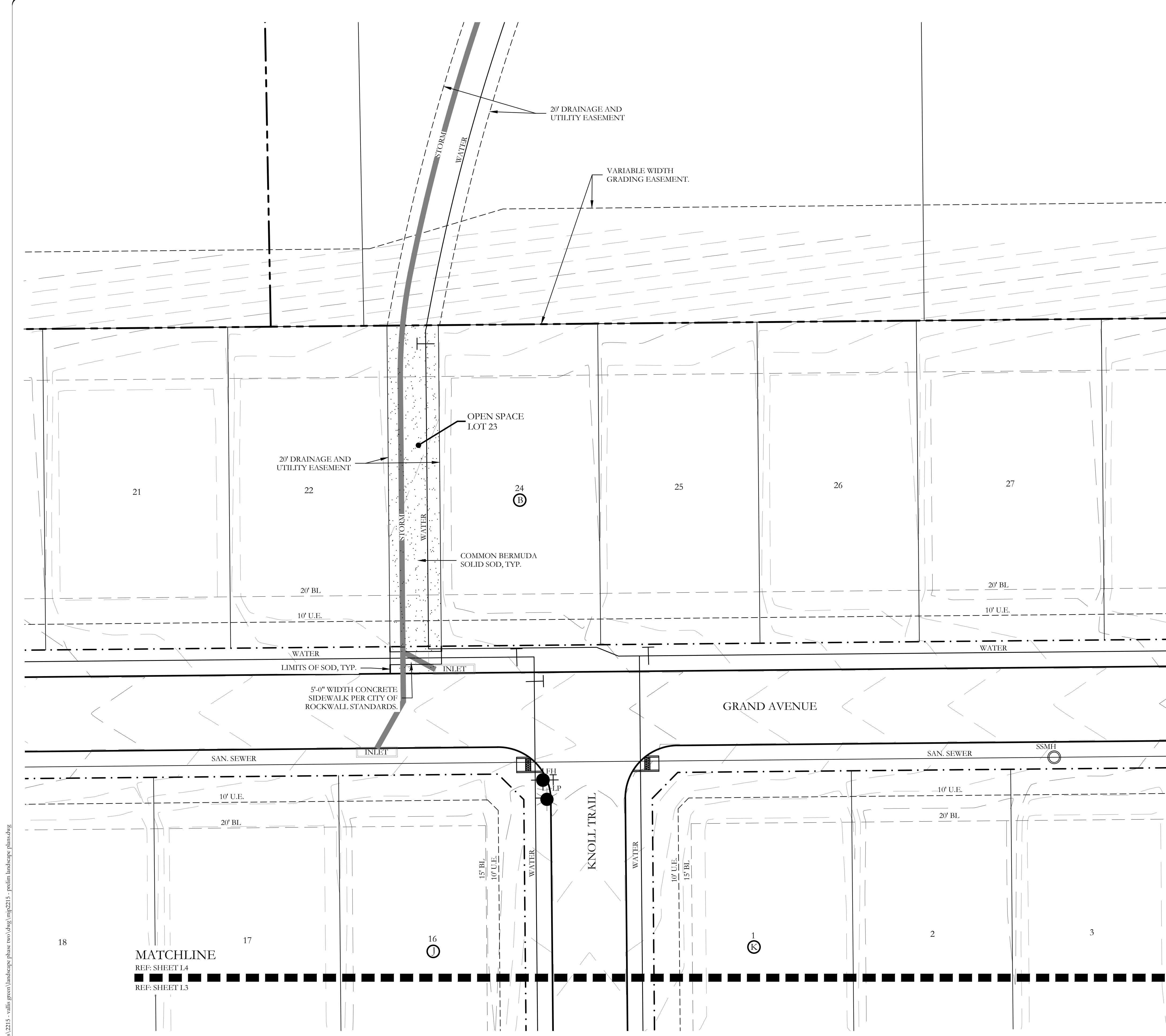
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Planning & Zoning Commission, Chairman Director of Planning and Zoning





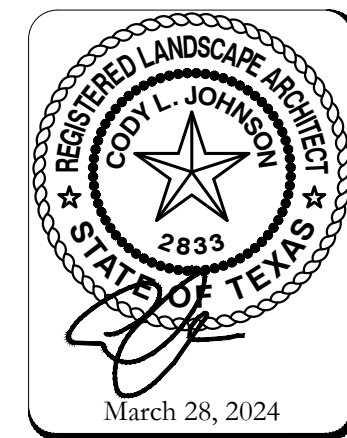
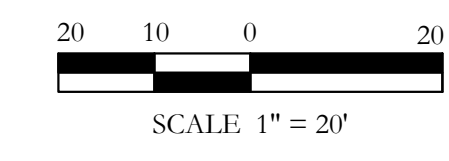
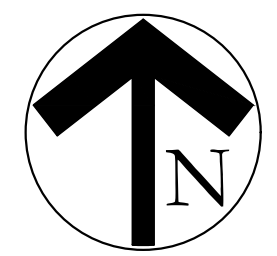


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LANDSCAPE PROVIDED

TERRACES BOULEVARD

- A. 10' LANDSCAPE BUFFER PROVIDED
- B. 1-4" CAL. CANOPY TREE / 50 LF OF LINEAR FRONTAGE.  
222 LF OF FRONTAGE / 50 LF = 5 - 4" CAL. TREES REQUIRED.
- 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE.  
222 LF OF FRONTAGE / 50 LF = 5 - ACCENT TREES REQUIRED.
- PROVIDED: 5 - 4" CALIPER CANOPY TREES  
6 - ACCENT TREES

KNOLL TRAIL

- A. 10' LANDSCAPE BUFFER PROVIDED
- B. 1-4" CAL. CANOPY TREE / 50 LF OF LINEAR FRONTAGE.  
115 LF OF FRONTAGE / 50 LF = 3 - 4" CAL. TREES REQUIRED.
- 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE.  
115 LF OF FRONTAGE / 50 LF = 3 - ACCENT TREES REQUIRED.
- PROVIDED: 3 - 4" CALIPER CANOPY TREES  
4 - ACCENT TREES

PLANT LIST - TREES

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	5	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	3	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	3	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
DW	4	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	28,147	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

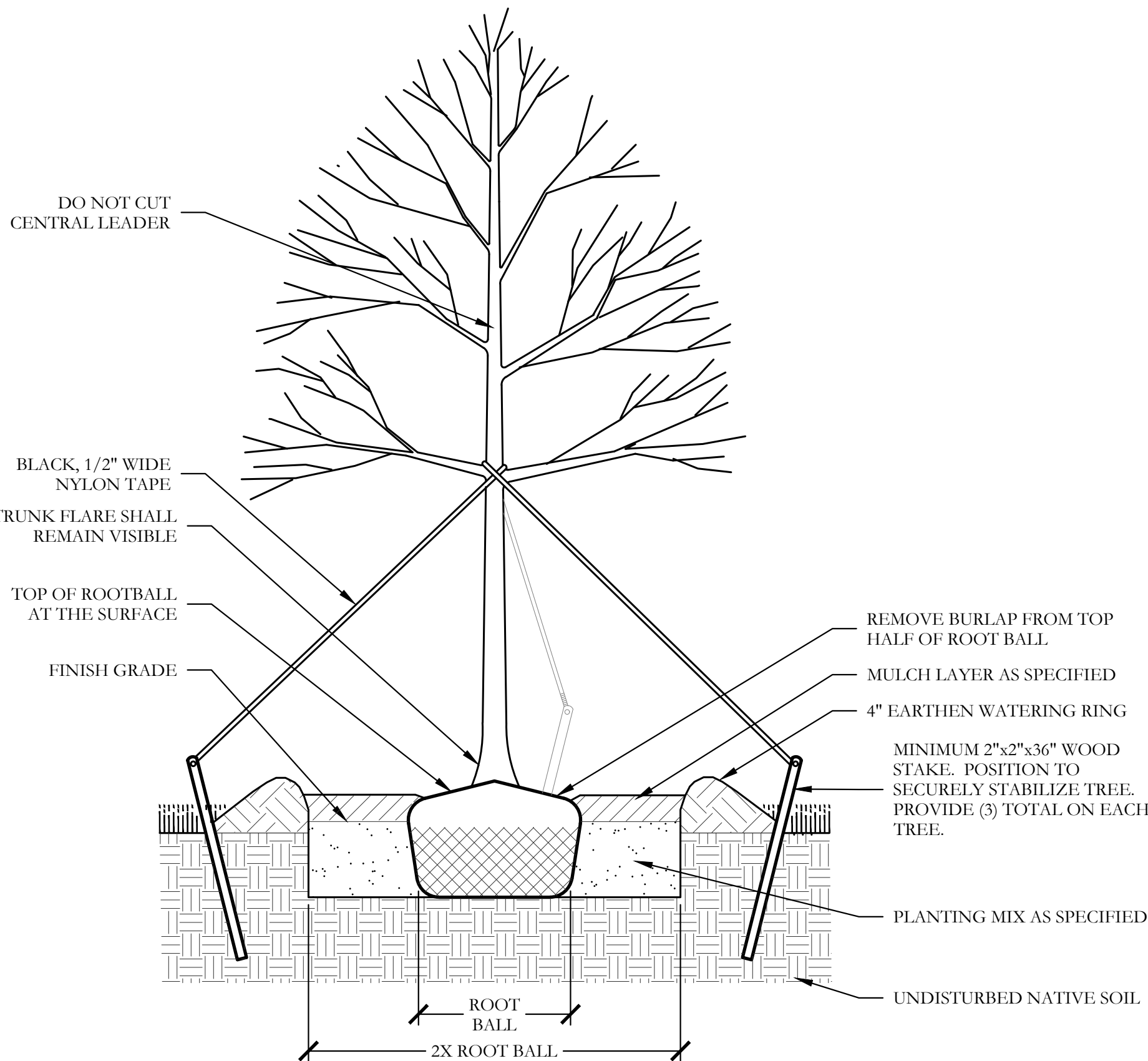
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.






1 TYPICAL TREE PLANTING SECTION

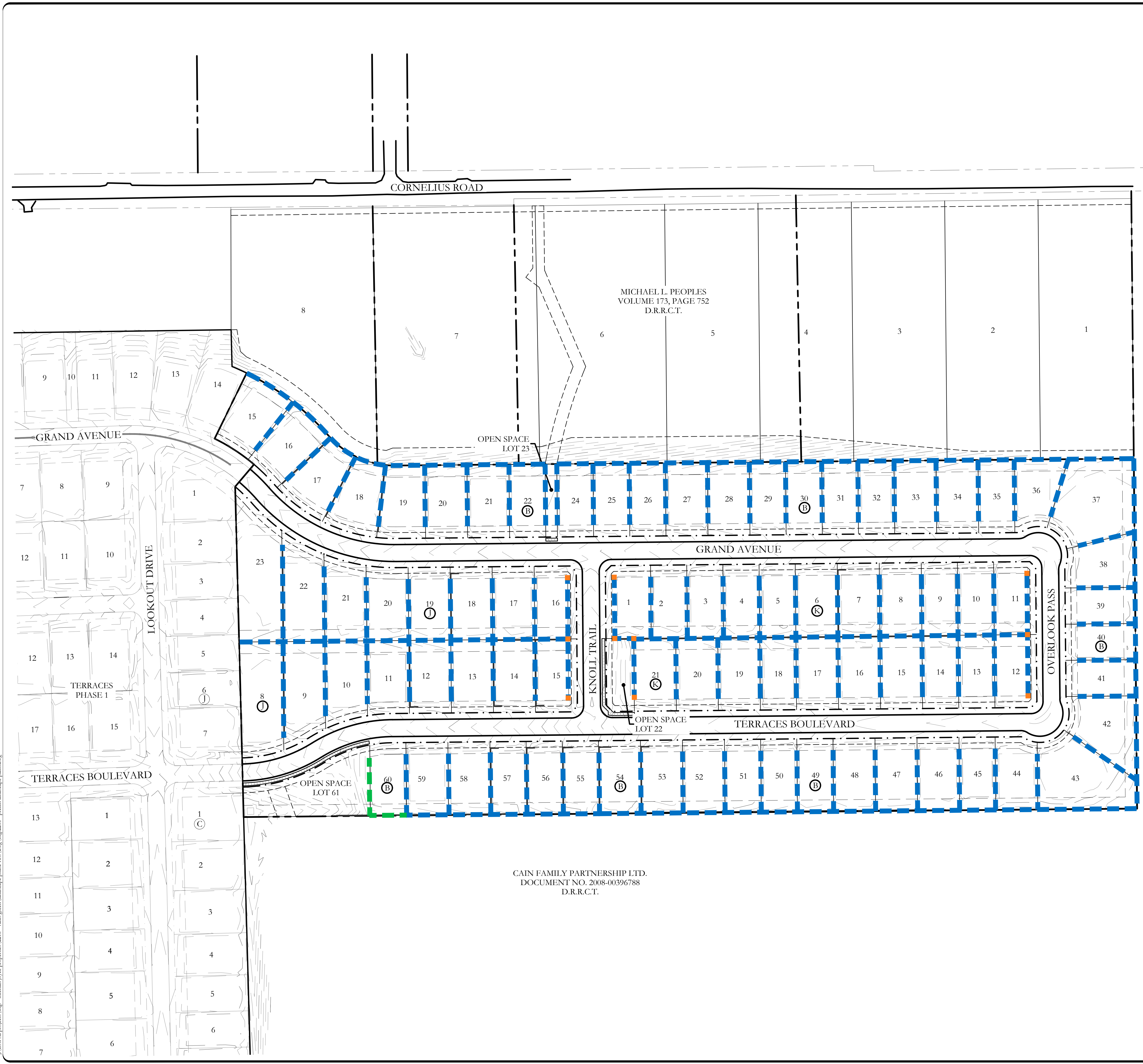
NOT TO SCALE

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HARDSCAPE LEGEND

-  6'-0" HT. WOOD FENCE BY BUILDER. REFER TO DETAIL 1/F2.
-  6'-0" HT. ORNAMENTAL METAL FENCE BY BUILDER. REFER TO DETAIL 2/F2.
-  7'-0" HT. STONE COLUMN BY BUILDER. REFER TO DETAIL 1/F2.

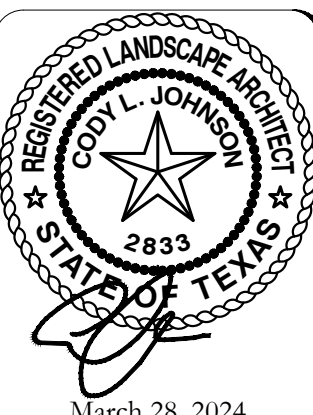
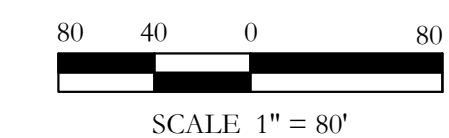
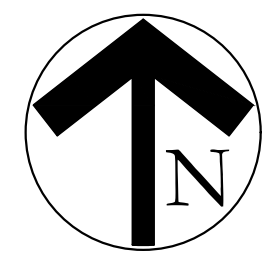


MICHAEL L. PEOPLES  
VOLUME 173, PAGE 752  
D.R.R.C.T.

DONNIE PEOPLES  
VOLUME 188, PAGE 357  
P.R.R.C.T.

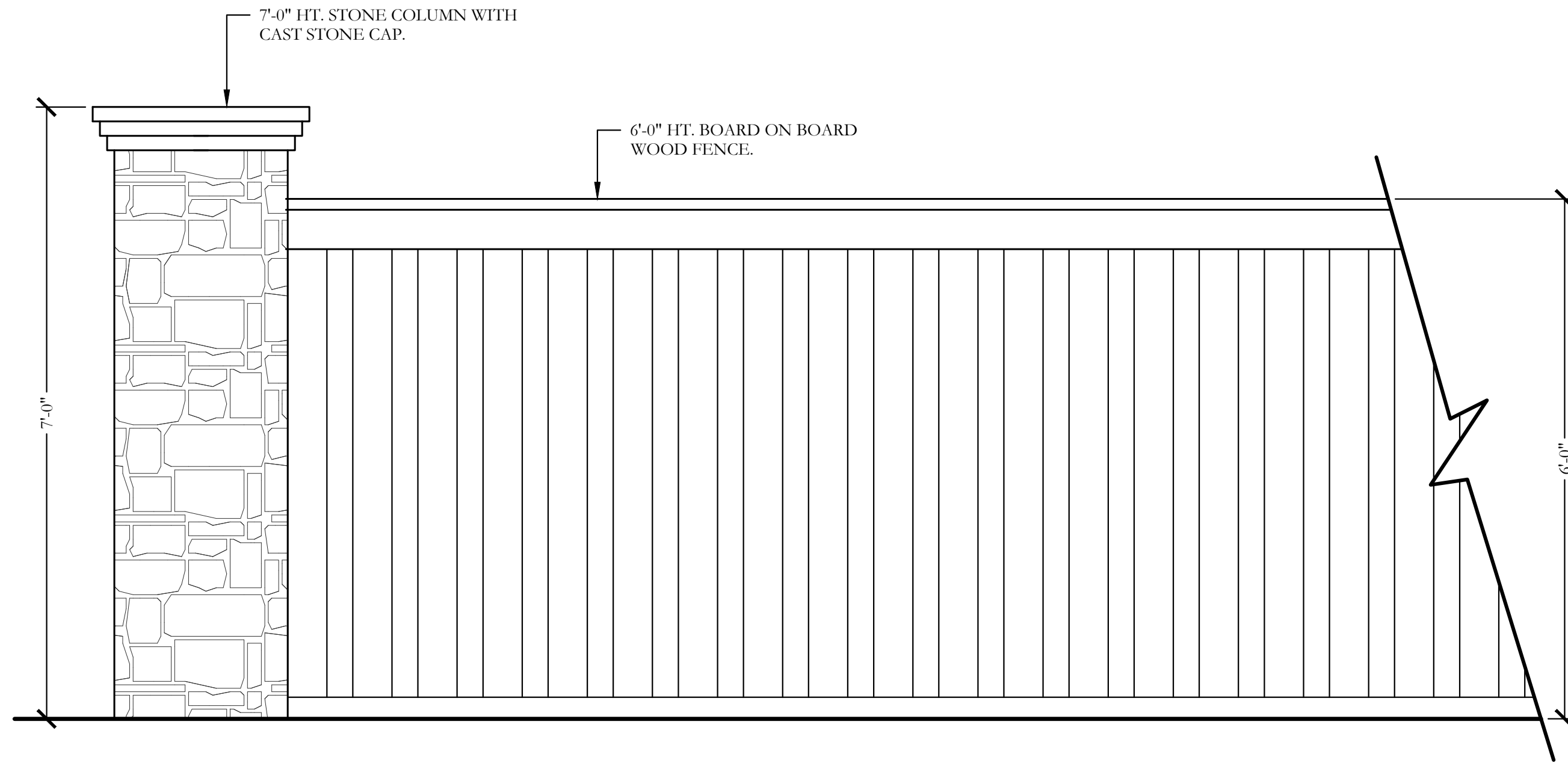
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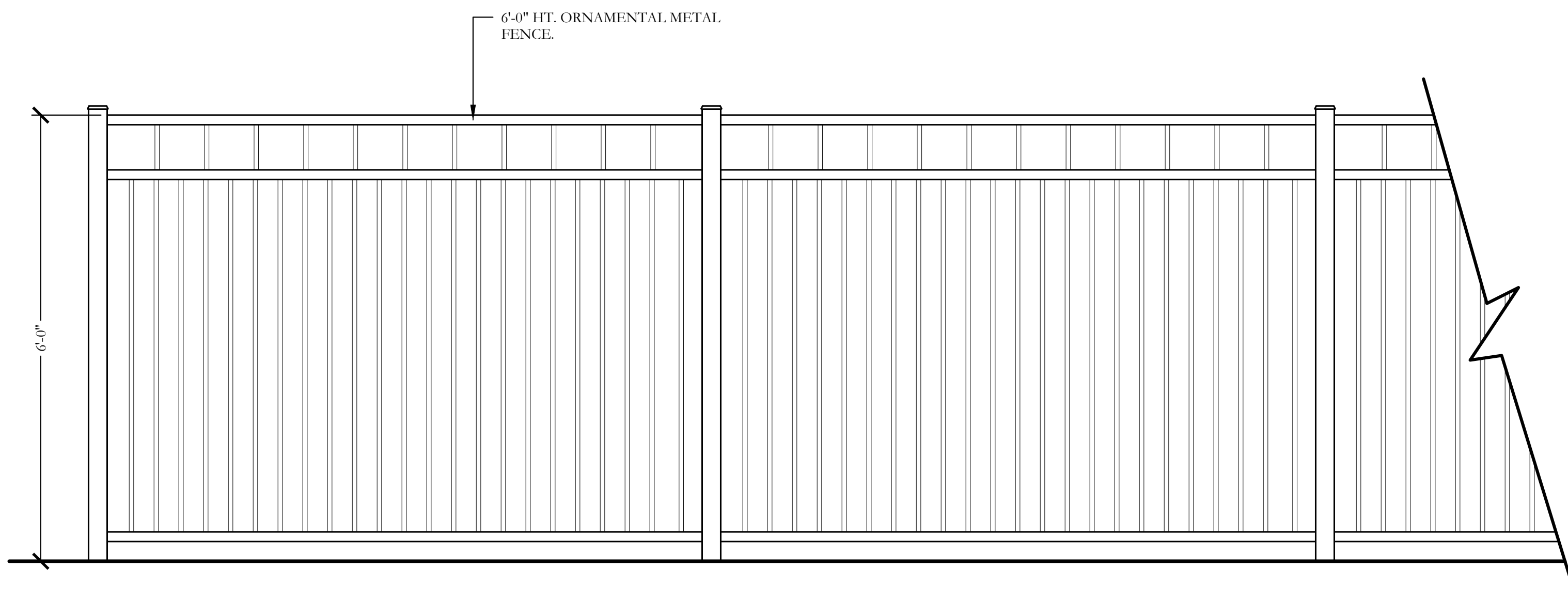
March 28, 2024

SCALE:  
1" = 80'  
One Inch  
JVC No MJP2215



1 TYPICAL WOOD FENCE AND COLUMN BY BUILDER  
ELEVATION

SCALE: 3/4" = 1'-0"



2 TYPICAL ORNAMENTAL METAL FENCE BY BUILDER  
ELEVATION

SCALE: 3/4" = 1'-0"

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2024.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2024.  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman Director of Planning and Zoning



# CITY OF ROCKWALL

## PLANNING AND ZONING MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** April 9, 2024

**APPLICANT:** Marisol Ortiz

**SUBJECT:** Z2024-008; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 302 E. Bourn Street*

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On April 2, 2024, the applicant -- *Marisol Ortiz* -- sent an email to staff requesting to withdraw *Case No. Z2024-008*. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means that the Planning and Zoning Commission will need to vote on the applicant's request to withdraw. Should the Planning and Zoning Commission have any questions, staff will be available at the April 9, 2024 meeting.





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** April 9, 2024

**APPLICANT:** Mark Fernandez; *Lithia C/O Golden Property Development, LLC*

**CASE NUMBER:** Z2024-010; *Specific Use Permit (SUP) for the Expansion of an Existing Motor Vehicle Dealership 1790 E. IH-30*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a *Specific Use Permit (SUP)* for a *New Motor Vehicle Dealership for Cars and Light Trucks* to allow the expansion of an existing *New Motor Vehicle Dealership* on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

### BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 5, 2006 when the City Council approved *Ordinance No. 06-19 (Case No. Z2006-007)* changing the zoning to a Light Industrial (LI) District. On June 12, 2007, the Planning and Zoning Commission approved a site plan and preliminary plat (*Case No. SP2007-013; Case No. P2007-014*) to allow the construction of a *New Motor Vehicle Dealership for Cars and Light Trucks*, and on June 18, 2007, the City Council approved the preliminary plat and denied a variance to the cross-access requirements of the IH-30 Overlay District. On February 18, 2008, the City Council approved a final plat (*Case No P2008-005*) that establish the subject property as Lot 1, Block 1, Rockwall KIA Addition.

Staff should note that all *New Motor Vehicle Dealership for Cars and Light Trucks* are required to receive a Specific Use Permit (SUP) within the Light Industrial (LI) District. In this case, before 2008 the Unified Development Code (UDC) did not require *New Motor Vehicle Dealership for Cars and Light Trucks* to obtain a SUP. Given that the *New Motor Vehicle Dealership for Cars and Light Trucks* on the subject property began the development process before the Unified Development Code (UDC) changed, their land use was considered to be vested or legally conforming after the change was made to require the SUP. Recently, the applicant approached staff about increasing the size of the *New Motor Vehicle Dealership*. According to Section 04, *Board of Adjustments*, of Article 02, *Development Review Authority*, of the Unified Development Code (UDC), to expand a non-conforming land use the applicant could either [1] submit a request to the Board of Adjustments (BOA) requesting approval of the expansion, or [2] submit a development application for a Specific Use Permit (SUP) in order to bring the land use into conformance with the current Unified Development Code (UDC). In this case, the applicant opted to request the Specific Use Permit (SUP).

### PURPOSE

The applicant -- *Mark Fernandez of Lithia C/O Golden Property Development, LLC* -- is requesting approval of a Specific Use Permit (SUP) to allow for the expansion of an existing *New Motor Vehicle Dealership for Cars and Light Trucks*, and *Major Auto Repair Garage* as an accessory land use in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

## ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1790 E. IH-30 and is currently being used as a *Motor Vehicle Dealership* (i.e. *Southwest Kia of Rockwall*), with a *Major Automotive Repair Garage* as an accessory use. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the intersection of Conveyor Street and the westbound frontage road. On the west side of Conveyor Street are two (2) parcels of land (i.e. *part of Lot 1, Block C, Rockwall Commercial Park Addition; Tract 5-1 of the J. Lockhart Survey, Abstract No. 134*) developed with a *Pawn Shop* (i.e. *Rockwall Pawn*) and an *Office/Warehouse* (i.e. *Firehouse Heating and Air*). Both properties are zoned Light Industrial (LI) District. East of Conveyor Street are two (2) parcels of land (i.e. *two (2) parts of Lot 1, Block D, Rockwall Commercial Park Addition*) zoned Commercial (C) District. One (1) property is developed with a *Building and Landscape Material Supply Company* (i.e. *A-1*) followed by a vacant parcel.

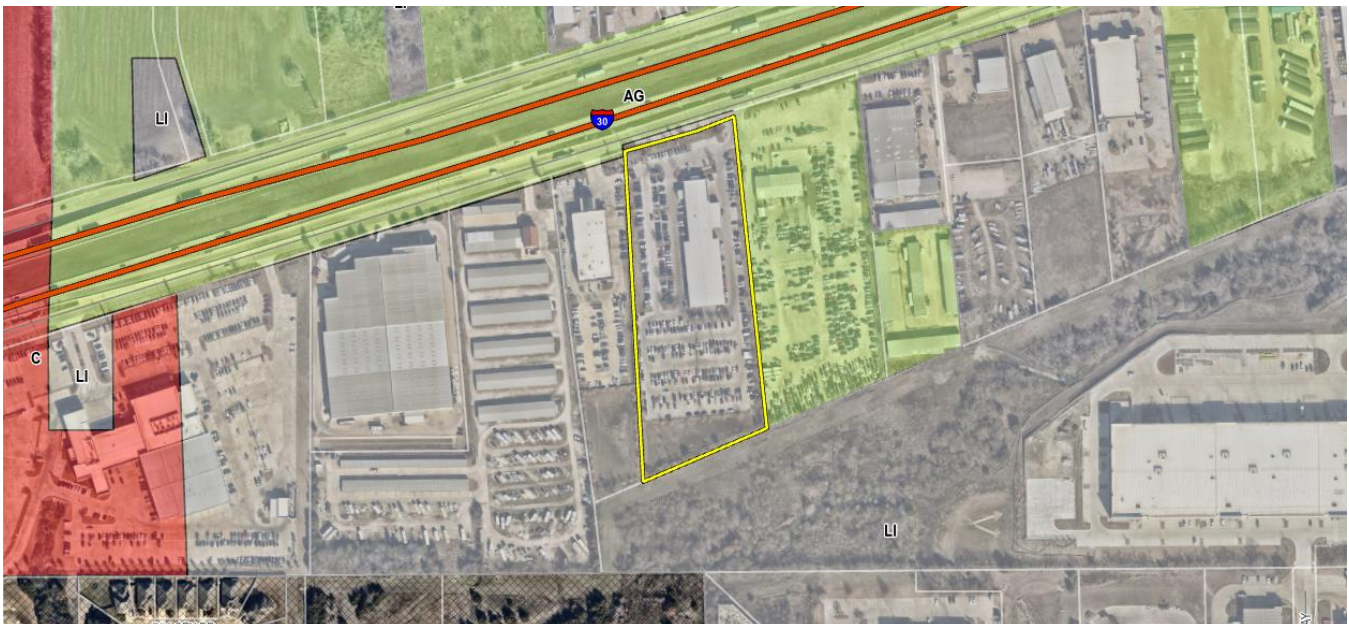
South: Directly south of the subject property is a 43.237-acre parcel of land (i.e. *Lot 1, Block A, Stream 549 Addition*) developed with a ~301,120 SF *Warehouse/Distribution Center*. Beyond this is an 8.482-acre parcel of land (i.e. *Lot 8, Block C, Rockwall Technology Park Addition*) developed with a *Warehouse/Distribution Center*. Both properties are zoned Light Industrial (LI) District.

East: Directly east of the subject property are two (2) tracts of land (i.e. *Tracts 9-01 & 9-10 of the J. Lockhart Survey, Abstract No. 134*) developed with Light Industrial (LI) land uses (i.e. *Auto Auction; Mini-Warehouse*) and are zoned Agricultural (AG) District. Beyond this are several tracts of land (i.e. *Tract 9-02 & 9-5 of the J. Lockhart Survey, Abstract No. 134; Lots 1 & 2, DBK Addition; Lot 1, Block A, K. H. D. Inc. Subdivision; Lot 1, Block 1, Cavender's Addition*) zoned Light Industrial (LI) District.

West: Directly west of the subject property are three (3) parcels of land (i.e. *Lot 1, Block A, Service King IH-30 Addition; Lots 1 & 2, Block A, McKeown-Belaustegui Addition*) developed with industrial land uses (i.e. *Auto Repair, Mini-Warehouse, and Recreational Vehicle Repair*) and are zoned Light Industrial (LI) District. Beyond this is a 14.7506-acre parcel of land (i.e. *Lot 1, Block A, Nissan of Rockwall Addition*) developed with a *New Motor Vehicle Dealership for Cars and Light Trucks* (i.e. *Cavender Nissan Rockwall*) zoned Light Industrial (LI) District and Commercial (C) District.

### MAP 1: LOCATION MAP

**YELLOW:** SUBJECT PROPERTY





## **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE WITH THE CITY'S CODE**

Along with the development application, the applicant submit a site plan and building elevations. Based on the site plan submitted by the applicant, the existing *Office/Sales Floor* will be increased by ~2,000 SF, with minor grade changes being proposed in front of the proposed building (*i.e. between the front façade and the parking area adjacent to IH-30*) to address current drainage issues. They are not requesting to change any other aspects of the site (*i.e. fire lanes, parking, vehicle delivery, etc.*). Staff has included this site plan into the draft ordinance in order to generally tie down what the applicant is proposing. With that being said, based on the building elevations provided by the applicant there will need to be variances approved in association with the building design. Given this, staff did not include the building elevations in the draft ordinance. This will allow the Architectural Review Board (ARB) and the Planning and Zoning Commission greater flexibility in making recommendations at the time of site plan, and the applicant greater flexibility when proposing changes to the façade of the building in the future (*e.g. when making minor changes for rebranding purposes*).

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *New Motor Vehicle Dealership for Cars and Light Trucks* is defined as the "(r)etail sales of new automobiles or light load vehicles, including, as a minor part of the business, the sale of used automobiles or light load vehicles and the service of new or used vehicles within an area or enclosed building." In addition, Article 04, *Permissible Uses*, of the Unified Development Code (UDC) sets forth the following *Conditional Land Use Standards* for this land use: [1] all outside display of vehicles must be on an approved concrete, or enhanced concrete surface, and [2] all vehicle display areas must meet the landscape standards for parking areas. Currently, the subject property is considered to be in compliance with item one (1) of these requirements. The landscaping on the site was originally approved in 2007, and is considered to be legally non-conforming; however, staff has informed the applicant that at the time of site plan they will be required to meet the current landscaping requirements of the *General Overlay District Standards* in accordance with the Unified Development Code (UDC).

With regard to the *Major Automotive Repair Garage* land use, Article 13, *Definitions*, of the Unified Development Code (UDC) defined a *Major Automotive Repair Garage* as consisting of "(m)ajor repair, rebuilding or reconditioning of engines, transmissions, or other major components for motor vehicles; collision services including body, frame, or fender straightening or repair; customizing; overall painting or paint shop; automotive glass and upholstery; those uses listed under *Minor Auto Repair Garage*, and other similar uses. All repair work shall be performed inside an enclosed building. Vehicles shall not be stored on site no longer than 90-days." Article 04, *Permissible Uses*, of the Unified Development Code (UDC) goes on to list the *Conditional Land Use Standards* for this land use as [1] garage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property, and [2] vehicles, equipment, parts or inventory shall not be stored outside overnight unless granted by the Planning and Zoning Commission and City Council through Specific Use Permit (SUP). In this case, the proposed *Major Automotive Repair Garage* bay doors do not face onto a public right-of-way, park or open space, or residentially used property; however, they face onto residentially zoned property. Directly adjacent to the subject property -- *to the east* -- is an Agriculturally zoned property. According to Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, of the Unified Development Code (UDC), an Agricultural (AG) District is considered a residential zoning designation. In this case, the adjacent property is zoned Agricultural (AG) District, but is developed with a Light Industrial (LI) land use, and is designated as being in the Special Commercial Corridor per the *Future Land Use Map* contained in the OURHometown Vision 2040 Comprehensive Plan. Given that the adjacent property is currently not developed as a residential property, the property is not designated as residential in the future, and the *Major Automotive Repair Garage* is existing, this does not appear to create issues with the intent of the *Conditional Land Use Standards*.

## **STAFF ANALYSIS**

Today, the existing *New Motor Vehicle Dealership for Cars and Light Trucks*, and accessory *Major Auto Repair Garage* land uses are considered legally non-conforming per the current *Land Use Schedule* contained within Article 04, *Permissible Uses*, of the Unified Development Code (UDC). To facilitate the expansion of the of the existing *New Motor Vehicle Dealership*, the applicant is requesting a Specific Use Permit (SUP) for the *New Motor Vehicle Dealership for Cars and Light Trucks*, and *Major Auto Repair Garage* as an accessory use in order to bring land uses established on the subject property into conformance with the current requirements. In addition, the applicant will be subject to the building and landscape requirements outlined in the *General Overlay District Standards* and Article 08, *Landscape and Fence Standards*, contained within the Unified Development Code (UDC) at the time of site plan. Given this, the applicant is bringing the property closer into conformance with the standards outlined within the Unified Development Code (UDC).

Staff should note that the applicant submit building elevations that appear to require variances for approval. Given this, staff opted to have these reviewed at the time of site plan to allow the Architectural Review Board (ARB) and the Planning and Zoning Commission greater flexibility in making recommendations related to design, and allow the applicant greater flexibility in changing the exterior of the dealership in the future (*i.e. it will only require an amended site plan as opposed to having to amend the Specific Use Permit [SUP] first*). With this being said, requests for Specific Use Permits (SUPs) are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On March 19, 2023, staff mailed 28 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) returned notice in-favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for the expansion of an existing *Motor Vehicle Dealership* and accessory *Major Auto Repair Garage*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
  - (b) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
  - (c) Motor vehicle inventory for the existing *New Motor Vehicle Dealership for Cars and Light Trucks* and/or *Major Auto Repair Garage* shall not be parked/stored on an unimproved surface.
  - (d) The outside storage of tires or any other automotive parts shall be prohibited.
  - (e) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.
- (2) The applicant will be required to submit a site plan with building elevations, a material sample board, a landscape plan, and photometric plan prior to the submittal of engineering plans or the issuance of a building permit.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1790 I-30 Frontage Rd

SUBDIVISION Rockwall Kia

LOT 1 BLOCK 1

GENERAL LOCATION South side of East I-30, 1785'+- from John King Blvd.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Existing Southwest KIA Car Dealership

PROPOSED ZONING SUP (New & Used Motor Vehicle Dealership)

PROPOSED USE Existing Southwest KIA Car Dealership to remain

ACREAGE 5.9915

LOTS [CURRENT] 1

1

LOTS [PROPOSED] 1

1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Zohreh Malek

APPLICANT Lithia c/o Golden Property Development, LLC

CONTACT PERSON

CONTACT PERSON Mark Fernandez

ADDRESS 3845 Oak Lawn Ave

ADDRESS 20025 E Country Hollow Dr

CITY, STATE & ZIP Dallas TX 75219

CITY, STATE & ZIP Walnut, CA 91789

PHONE 214-727-7422

PHONE 909-573-2765

E-MAIL zohreh7@gmail.com

E-MAIL mark@goldenpropertydevelopment.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zohreh Malek [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 289.42 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 1<sup>st</sup> DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 1<sup>st</sup> DAY OF March, 2024.

OWNER'S SIGNATURE Zohreh Malek

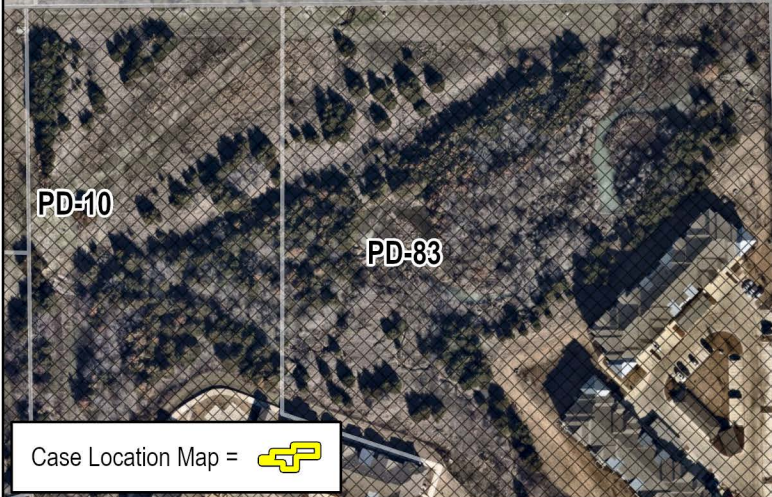
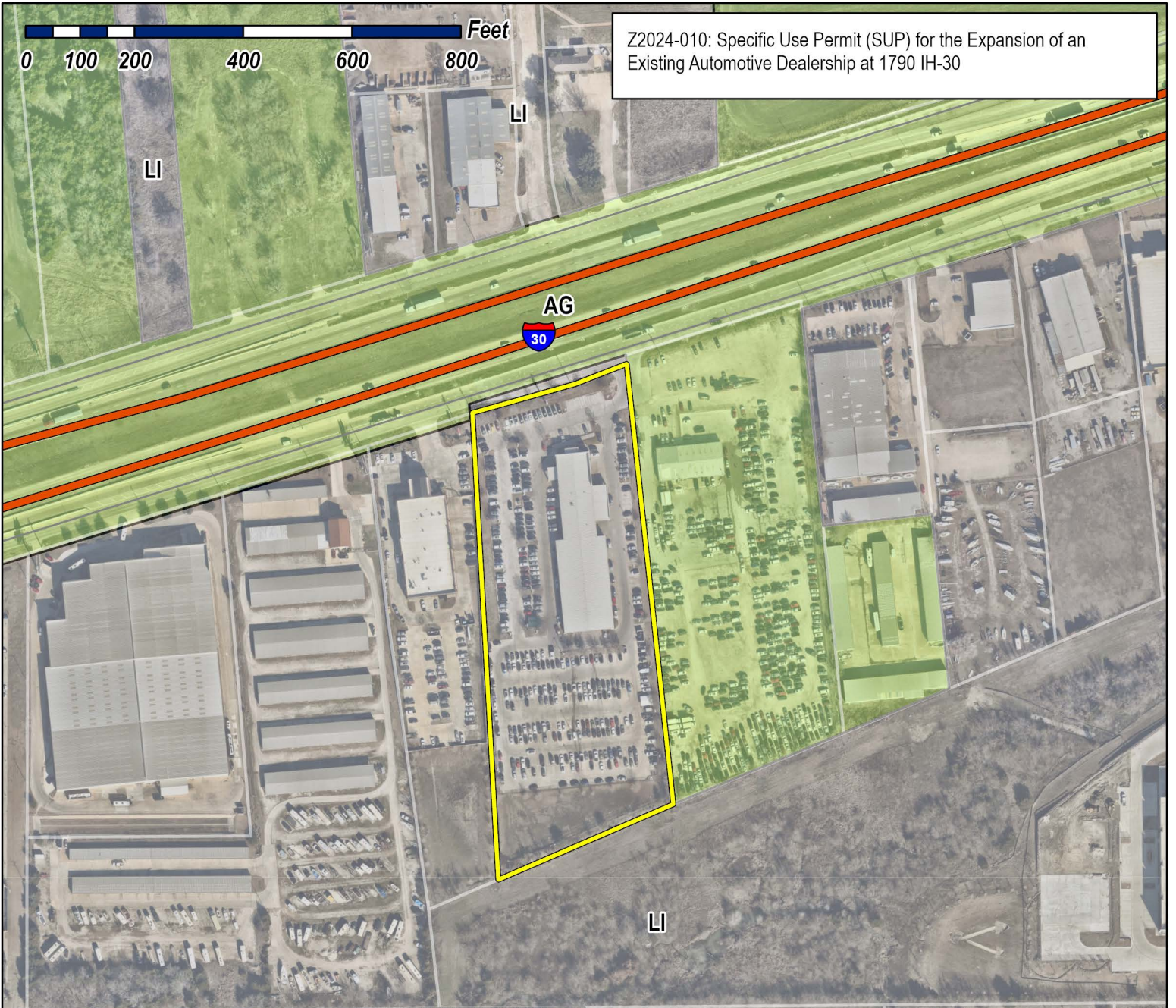
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS C. Hughes






0 100 200 400 600 800 Feet

Z2024-010: Specific Use Permit (SUP) for the Expansion of an Existing Automotive Dealership at 1790 IH-30



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



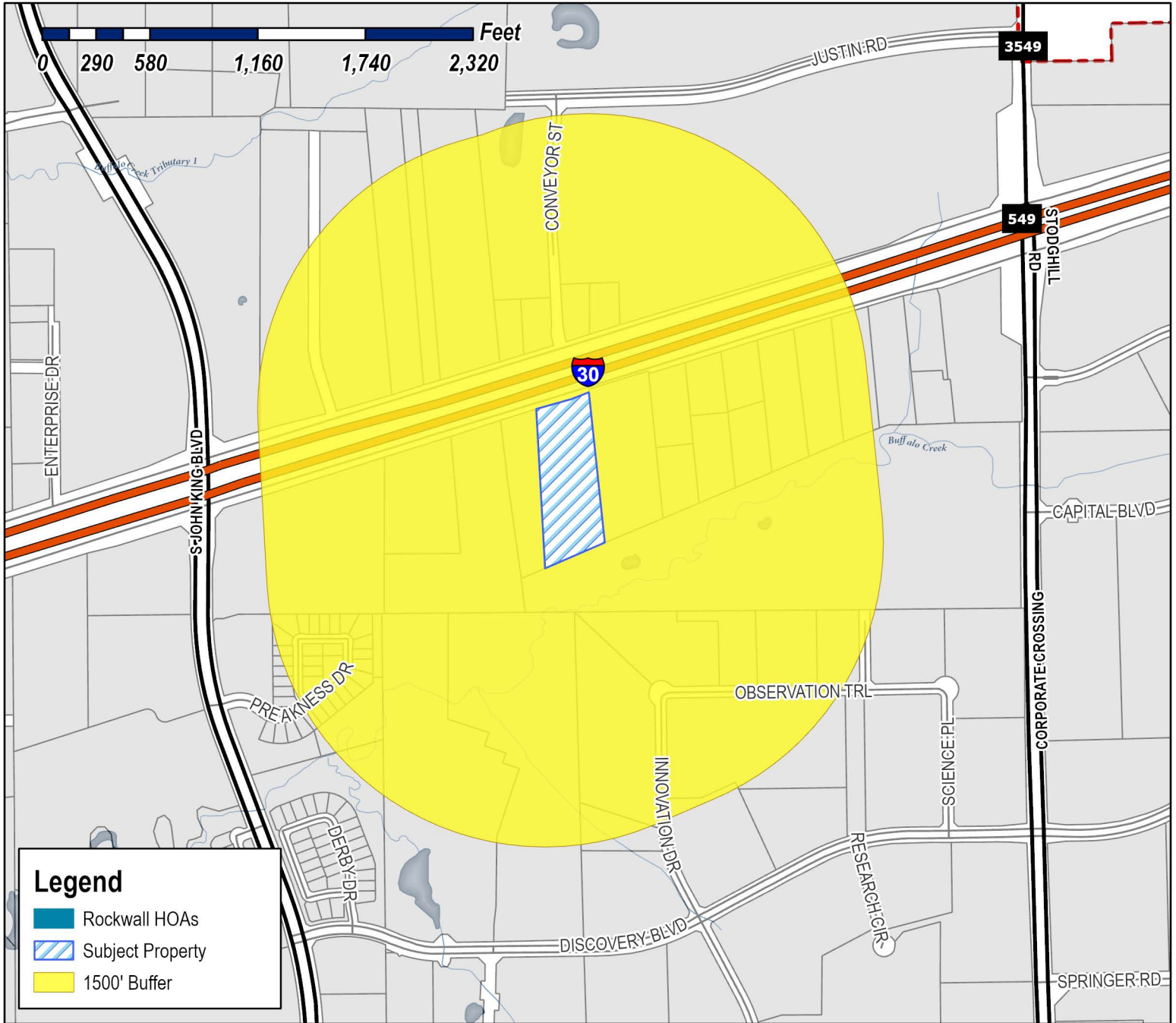




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**Case Number:** Z2024-010  
**Case Name:** SUP for the Expansion of an Existing Automotive Dealership  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1790 IH-30

**Date Saved:** 3/11/2024  
 For Questions on this Case Call (972) 771-7745

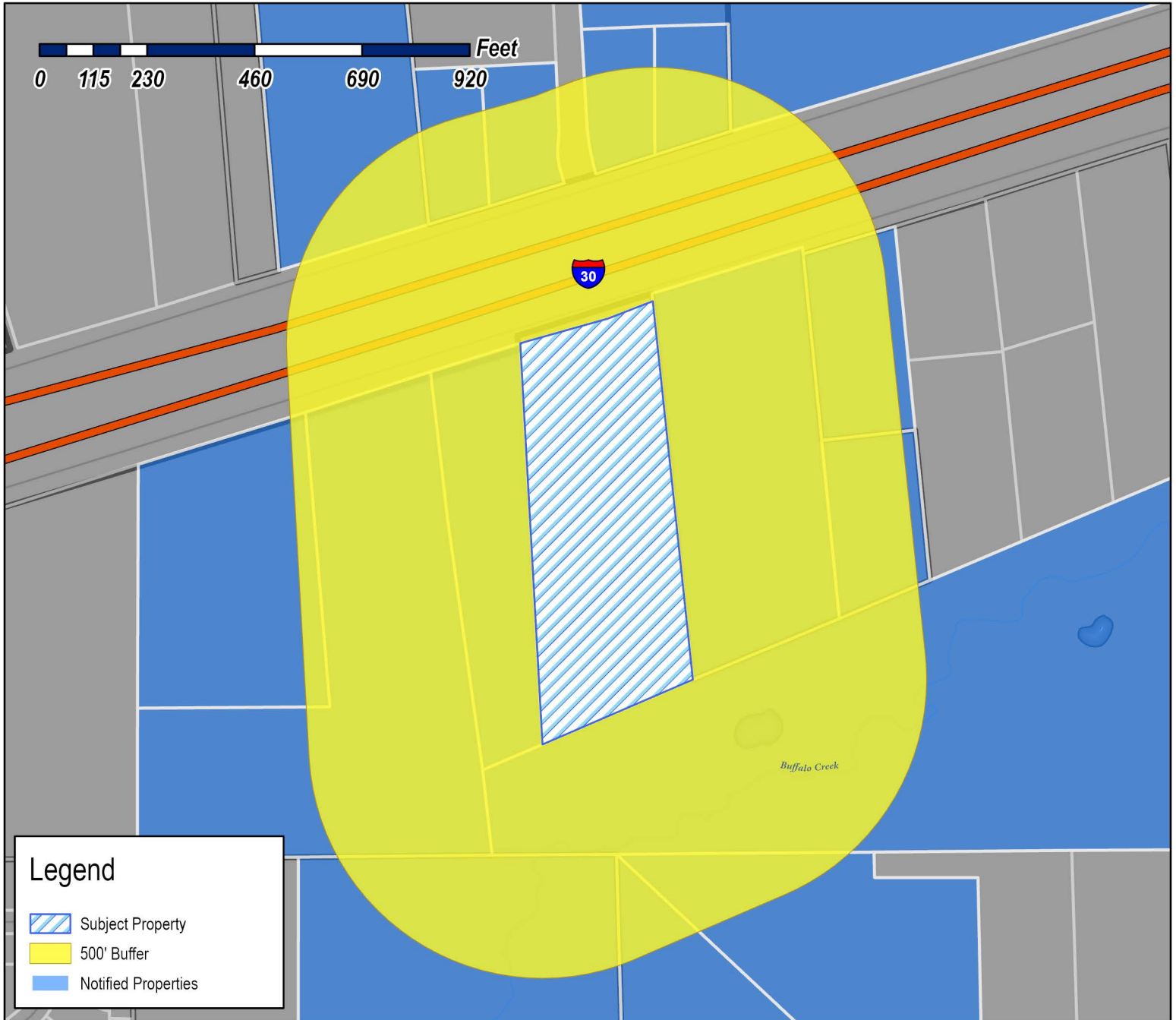




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**Case Number:** Z2024-010  
**Case Name:** SUP for the Expansion of an Existing Automotive Dealership  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1790 IH-30

**Date Saved:** 3/11/2024

For Questions on this Case Call: (972) 771-7746



LINE 5 HOLDINGS LP  
1201 N RIVERFRONT BLVD SUITE 100  
DALLAS, TX 75207

DEN-MAR ENTERPRISES INC  
124 MONT BLANC DR  
HEATH, TX 75032

RAFIZADEH M & M FAMILY LTD  
C/O REPUBLIC MOTORSPORTS INC  
12707 SOUTHWEST FREEWAY  
STAFFORD, TX 77477

RESIDENT  
1515 CORPORATE CROSSING  
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS &  
KIMBERLY CULLINS COLLICCHIO TRUSTEES  
1610 SHORES BLVD  
ROCKWALL, TX 75087

RESIDENT  
1635 INNOVATION DR  
ROCKWALL, TX 75087

RESIDENT  
1750 E I30  
ROCKWALL, TX 75087

RESIDENT  
1760 E I30  
ROCKWALL, TX 75087

RESIDENT  
1785 E I30  
ROCKWALL, TX 75087

RESIDENT  
1790 E I30  
ROCKWALL, TX 75087

RESIDENT  
1795 I30  
ROCKWALL, TX 75087

RESIDENT  
1805 E I30  
ROCKWALL, TX 75087

RESIDENT  
1810 S I30  
ROCKWALL, TX 75087

RESIDENT  
1820 E I30  
ROCKWALL, TX 75087

SELF SCOTT & JANET  
1830 E INTERSTATE 30 STE 100  
ROCKWALL, TX 75087

RESIDENT  
2350 DISCOVERY BLVD  
ROCKWALL, TX 75087

RESIDENT  
2610 OBSERVATION TRL  
ROCKWALL, TX 75087

JBC LAND & CATTLE COMPANY LLC  
2905 DUBLIN  
PARKER, TX 75002

SALEHOUN FAMILY LIMITED PARTNERSHIP  
39650 LYNDON B JOHNSON FWY  
DALLAS, TX 75237

WESTCORE BRAVO ROCKWALL LLC  
4350 LA JOLLA VILLAGE DR STE 900  
SAN DIEGO, CA 92122

ROCKWALL STORAGE SOLUTIONS LLC  
447 STEVENS RD  
ROCKWALL, TX 75032

MIDDLE BROOKS HOLDINGS LLC  
513 SAINT MARY ST  
ROCKWALL, TX 75087

SWBC RW2, LP  
5949 SHERRY LN SUITE 750  
DALLAS, TX 75225

ROCKWALL 549/I30 PARTNERS LP  
8750 N CENTRAL EXPWY SUITE 1735  
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP  
8750 N CENTRAL EXPY SUITE 1735  
DALLAS, TX 75231

AMBATIELOS EVANGELOS & VASILIKI  
JAMES E ZAFERIS & JOANNA ZAFERIS  
P. O. BOX 86404  
LOS ANGELES, CA 90086

ROCKWALL AA RE LLC  
PO BOX 775  
ROYSE CITY, TX 75189

THACKER DENNIS ALAN TESTAMENTARY TRUST  
AND  
LINDA THACKER LAHOOD AND JOSHUA ALAN  
THACKER  
PO BOX 8693  
GREENVILLE, TX 75404



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-010: SUP for the Expansion of an Existing Automotive Dealership

Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a New Motor Vehicle Dealership for Cars and Light Trucks to allow the expansion of an existing New Motor Vehicle Dealership on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2024-010: SUP for the Expansion of an Existing Automotive Dealership

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Donna Cullins Pritchard  
Address: 1610 Shores Blvd - Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



March 4, 2024

City of Rockwall  
Planning & Zoning Department  
Attn: Henry Lee  
385 S. Goliad Street  
Rockwall, TX 75087

Re: Proposed Southwest Kia Car Dealership Remodel and Expansion  
Special Use Permit (SUP) Request  
Letter of Explanation  
1790 I-30 Frontage Rd  
Rockwall, TX 75087

Mr. Lee:

Please use this Letter of Explanation as a formal request to process a Special Use Permit (SUP) for a Proposed Southwest Kia Car Dealership Remodel and Expansion. Lithia Motors, Inc., owners of the existing and operational Southwest Kia Dealership located at 1790 I-30 Frontage Rd, are filing for a SUP to permit the car dealership use and expansion as it is currently a legal non-conforming use.

Introduction:

Southwest Kia of Rockwall embarks on a transformative project aimed at enhancing its facility to better serve customers and align with Kia's latest brand image. The project includes the demolition of the existing showroom and service drive, followed by the construction of a new showroom and service drive facility designed to mitigate flooding risks and improve operational efficiency. Additionally, the project includes repainting the existing building exterior and implementing new interior and exterior finishes to reflect Kia's updated brand aesthetics.

Key Items:

- Demolition of Existing Showroom and Service Drive:
  - The project begins with the demolition of the current showroom and service drive to pave the way for the construction of a modernized facility.



- Construction of New Showroom and Service Drive:
  - The new showroom and service drive facility will be elevated to prevent flooding issues resulting from existing grades, ensuring operational continuity even during adverse weather conditions.
  - Careful consideration will be given to architectural design and structural integrity to meet both aesthetic and functional requirements.
  - Sales functions and operations will continue to operate out of temporary trailers.
  - When completed the facility would have increased in size by approximately 2,050 sf.
  
- Limited Paving Scope for Storm Water Drainage:
  - The paving scope will be optimized to efficiently surface drain stormwater, reducing the risk of flooding and water damage on the premises.
  - Drainage systems will be strategically integrated to manage stormwater runoff effectively.
  - All existing fire lanes will remain in their existing configuration.
  
- Repainting Existing Building Exterior:
  - The existing building exterior will undergo repainting to rejuvenate its appearance and align it with Kia's latest brand image.
  - High-quality paint materials resistant to weathering and fading will be selected to ensure long-term visual appeal.
  
- New Interior and Exterior Finishes:
  - All interior and exterior finishes will be replaced to reflect Kia's updated brand aesthetics, creating a cohesive and inviting atmosphere for customers and staff.
  - Finishes will prioritize durability, ease of maintenance, and visual appeal to uphold the brand's standards and enhance customer experience.





Conclusion:

The Southwest Kia of Rockwall renovation project represents a significant investment in modernizing and improving the dealership facility. Through the demolition of the existing showroom and service drive, construction of a new elevated facility, optimization of stormwater drainage, repainting of the building exterior, and implementation of new interior and exterior finishes, the dealership aims to enhance functionality, aesthetics, and brand alignment. This endeavor underscores Southwest Kia's commitment to providing exceptional service and maintaining a strong brand presence in the City of Rockwall's automotive market.

Sincerely,

Mark Fernandez  
Lithia Motors, Inc. c/o Golden Property Development, LLC  
909-573-2765  
[mark@goldenpropertydevelopment.com](mailto:mark@goldenpropertydevelopment.com)



**CIVIL ENGINEER**  
CIVIL-CON CONSULTANTS, LLC  
448 W. 19TH ST.  
HOUSTON, TEXAS 77008  
713.992.4148

**STRUCTURAL ENGINEER**  
DALLY + ASSOCIATES, INC.  
9800 RICHMOND AVE., SUITE 460  
HOUSTON, TEXAS 77042  
713.337.8881

**MEP ENGINEER**  
SPECTRUM DESIGN ENGINEERS  
19 SIERRA OAKS DR.  
SUGAR LAND, TEXAS 77479  
832.766.6076

**PROJECT:**  
SOUTHWEST KIA OF  
ROCKWALL

**PROJECT ADDRESS:**  
1790 I-30 FRONTAGE RD.  
ROCKWALL, TX 75087

**SEAL/SIGNATURE:**

**PRELIMINARY**  
NOT TO BE USED FOR REGULATORY APPROVAL,  
PERMITTING, OR CONSTRUCTION

**ISSUE HISTORY:**

DATE	DELTA	DESCRIPTION

**PROJECT NUMBER:** LA2204

**ISSUE DATE:** 02.20.2024

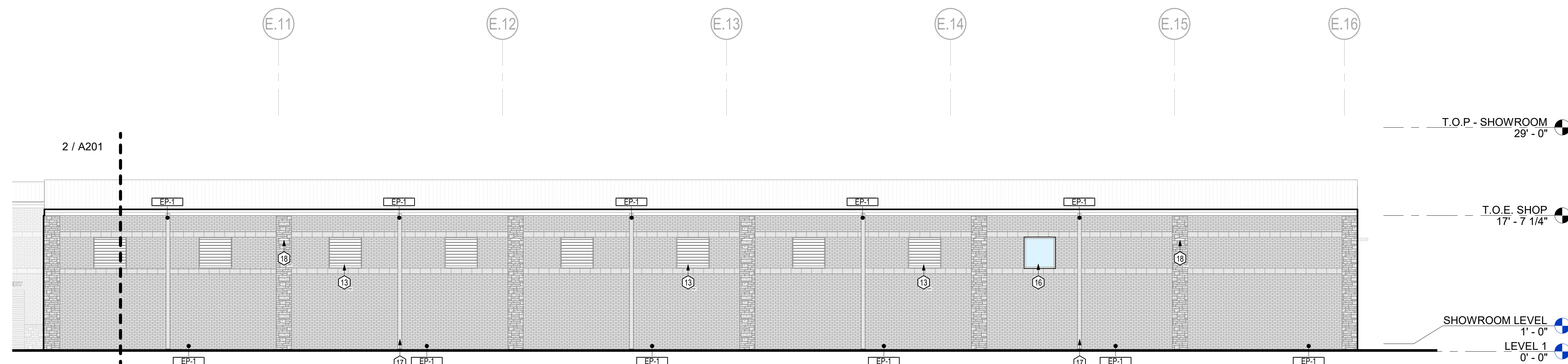
**SHEET NAME:**

**EXTERIOR BUILDING ELEVATIONS**

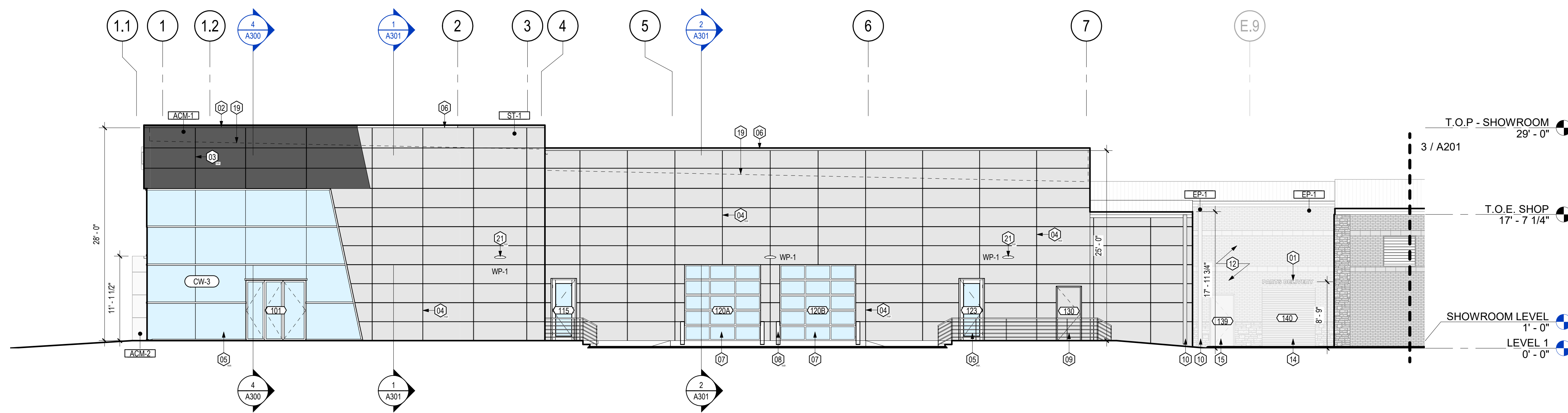
**SHEET:**

# A201

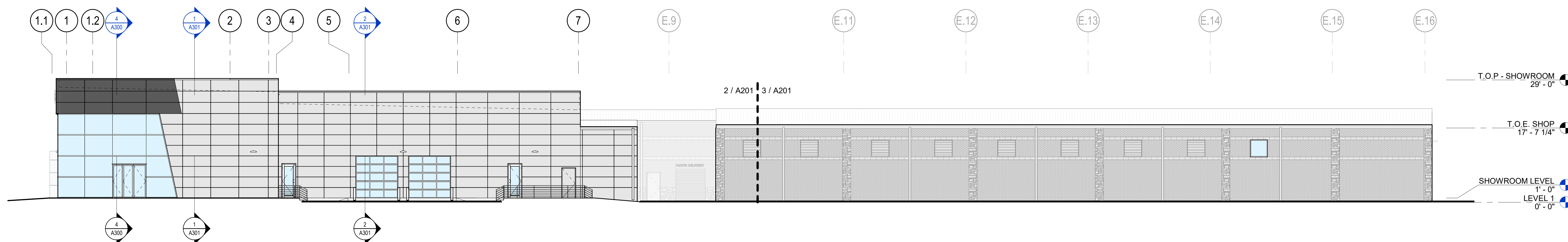
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
08	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
11	EQUIPMENT SCREEN. REF: SITE DETAILS
12	EXISTING EXTERIOR WALL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
13	EXISTING MECHANICAL LOUVER TO REMAIN
14	EXISTING OVERHEAD DOOR TO REMAIN. PAINT AS SCHEDULED
15	EXISTING DOOR AND FRAME TO REMAIN. PAINT AS SCHEDULED
16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



**3 EXTERIOR BUILDING ELEVATION - WEST - AREA B**  
1/8" = 1'-0"



**2 EXTERIOR BUILDING ELEVATION - WEST - AREA A**  
1/8" = 1'-0"

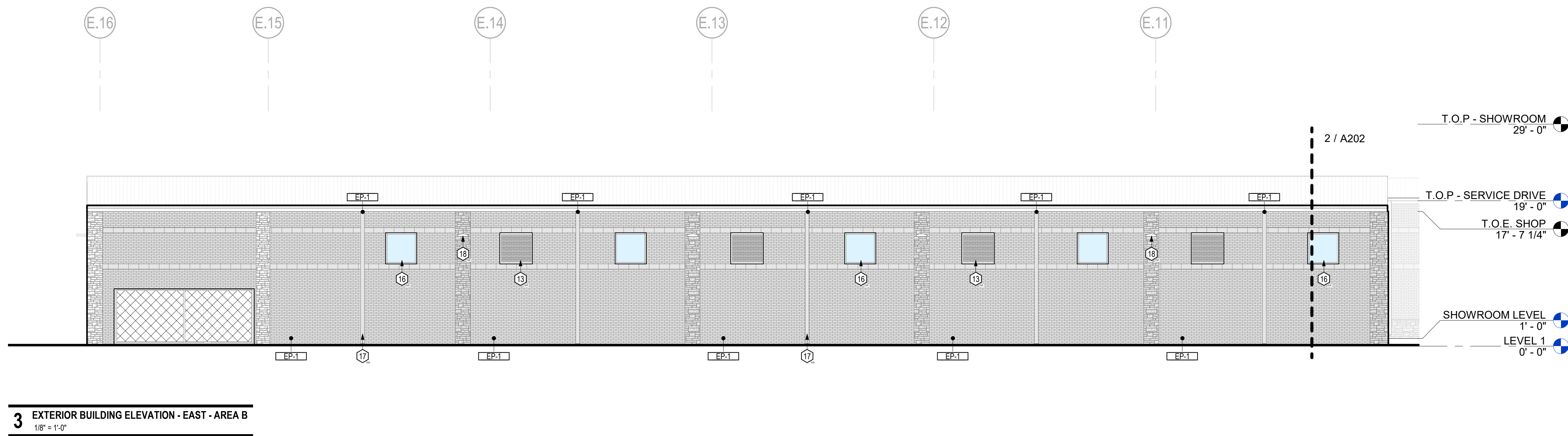


**1 EXTERIOR BUILDING ELEVATION - WEST**  
3/32" = 1'-0"

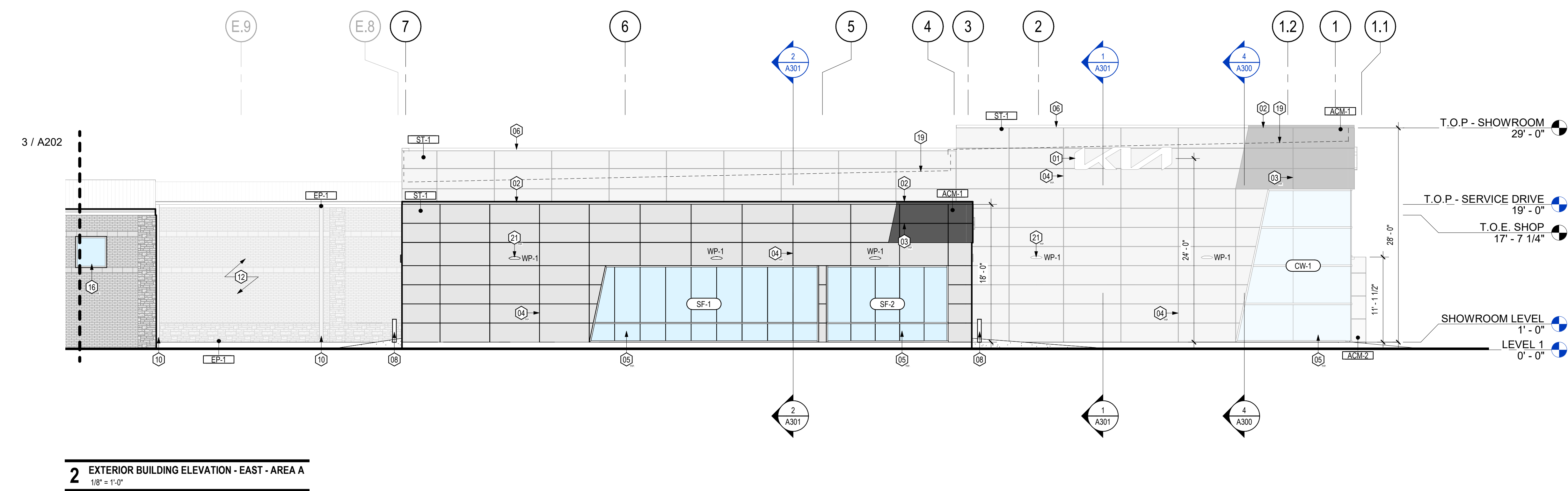


DATE	DELTA	DESCRIPTION
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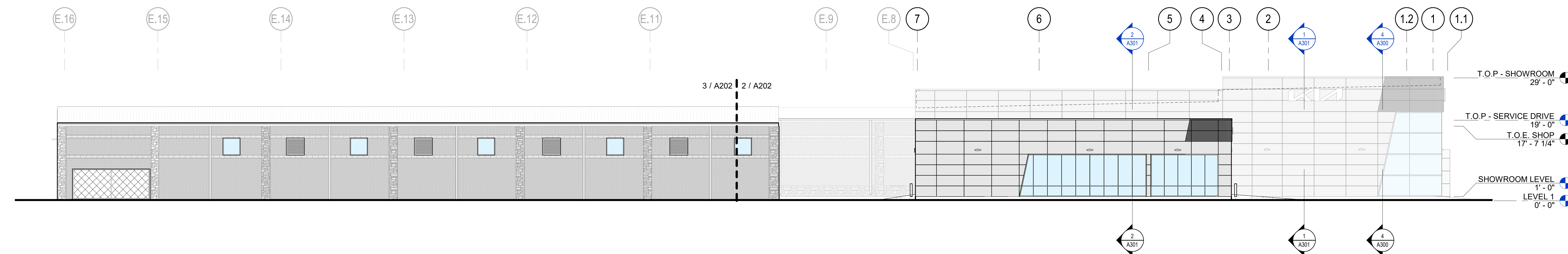
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
08	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
11	EQUIPMENT SCREEN. REF: SITE DETAILS
12	EXISTING EXTERIOR WALL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
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15	EXISTING DOOR AND FRAME TO REMAIN. PAINT AS SCHEDULED
16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



**3 EXTERIOR BUILDING ELEVATION - EAST - AREA B**  
1/8" = 1'-0"



**2 EXTERIOR BUILDING ELEVATION - EAST - AREA A**  
1/8" = 1'-0"



**1 EXTERIOR BUILDING ELEVATION - EAST**  
3/32" = 1'-0"



**BUILDING USE SQUARE FOOTAGE**

SHOWROOM	2,788 SF
SALES OFFICES	3,264 SF
CUSTOMER LOUNGE	1,300 SF
CUSTOMER RESTROOMS	662 SF
BREAKROOM & EMPLOYEE RESTROOMS	622 SF
BUILDING SUPPORT	253 SF
PARTS STORAGE	1,487 SF
SERVICE SHOP	15,344 SF
NEW VEHICLE DELIVERY	573 SF
SERVICE DRIVE	1,995 SF
SERVICE ADVISORS & CASHIER	840 SF
CASHIER AND RETAIL PARTS	1,074 SF

**SITE PLAN KEYNOTES**

#	NOTE
01	PAVING. REF: CIVIL
02	4" WHITE PARKING STRIPE. TYP. UNO
03	EV CHARGING STATION BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
04	EQUIPMENT SCREEN. REF: SITE DETAILS
05	EXISTING PAVING TO REMAIN. REF: CIVIL
06	EXISTING FIRE HYDRANT. REF: CIVIL
07	EXISTING TREE TO REMAIN. REF: LANDSCAPE
08	EXISTING PIPE RAIL FENCE. G.C. TO REPAIR AND REPAINT, EP-1
09	EXISTING LIGHT POLE TO REMAIN
10	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
11	EXISTING FIRE LANE
12	FIRE LANE - PAVEMENT MARKINGS, 6" WIDE RED PAINT WITH THE WORDS, "FIRE LANE - TOW AWAY ZONE" IN 4" WHITE LETTERS NO MORE THAN 25' ALTERNATING INTERVALS
13	CONCRETE CURB. REF: CIVIL
14	EXISTING PORTION OF CURB TO REMAIN. REF: CIVIL
15	CONCRETE SIDEWALK. REF: SITE DETAILS
16	LANDSCAPING. REF: CIVIL

**LOMA ARCHITECTURE**

3838 N. SAM HOUSTON PARKWAY E., SUITE 185  
HOUSTON, TEXAS 77032

WWW.LOMAARCH.COM

**CIVIL ENGINEER**  
CIVIL-CON CONSULTANTS, LLC  
448 W. 19TH ST.  
HOUSTON, TEXAS 77008  
713.992.4148

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**MEP ENGINEER**  
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19 SIERRA OAKS DR.  
SUGAR LAND, TEXAS 77479  
832.766.6076

**PROJECT:**  
SOUTHWEST KIA OF  
ROCKWALL

**PROJECT ADDRESS:**  
1790 I-30 FRONTAGE RD.  
ROCKWALL, TX 75087

**SEAL/SIGNATURE:**

**PRELIMINARY**  
NOT TO BE USED FOR REGULATORY APPROVAL,  
PERMITTING, OR CONSTRUCTION

**ISSUE HISTORY:**

DATE	DELTA	DESCRIPTION
TBD	IFP	ISSUE FOR PERMIT

**PROJECT NUMBER:** LA2204

**ISSUE DATE:** 04.01.2024

**SHEET NAME:**

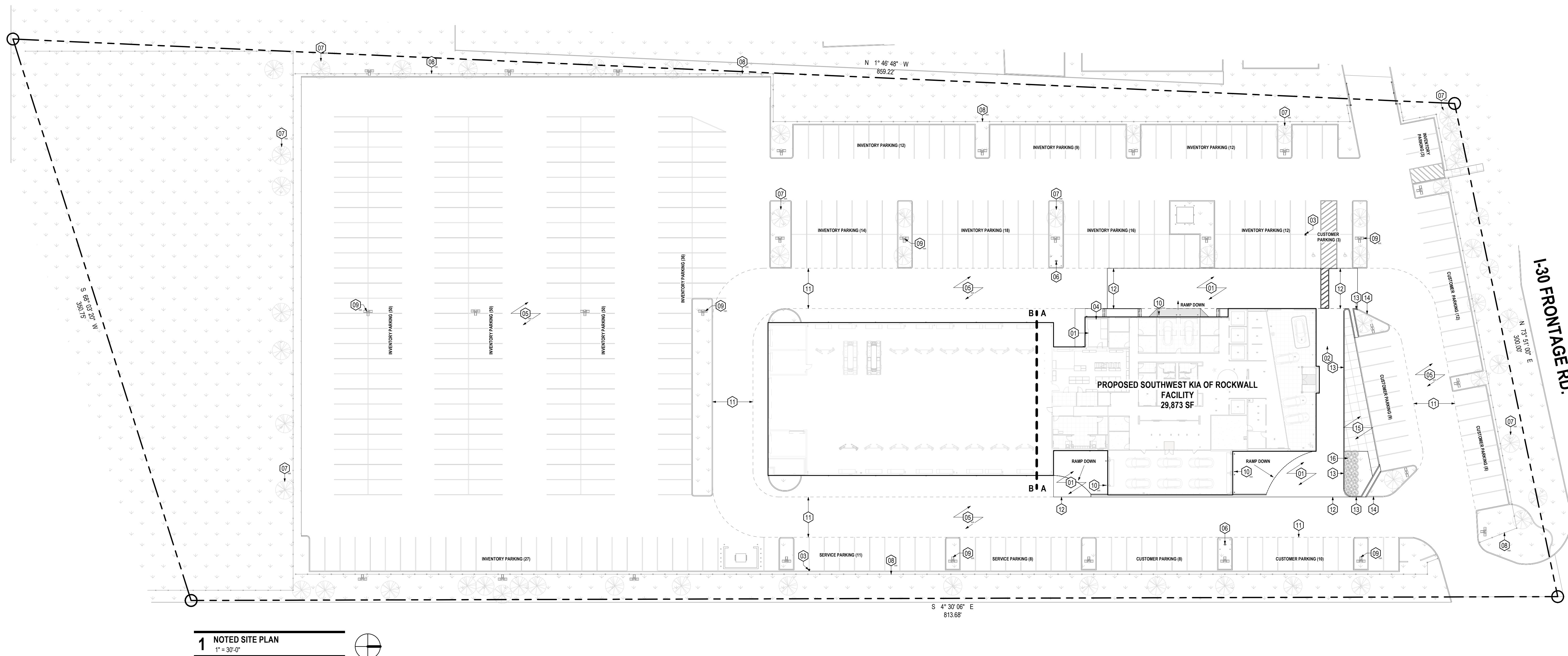
**NOTED SITE PLAN**

**SHEET:**

**A102**

CASE NUMBER: Z2024-010

© 2024 LOMA Architecture, LLC



**1 NOTED SITE PLAN**  
1" = 32'-0"

LEGAL DESCRIPTION

260,988 sq. ft. - 5.9915 AC, Lot 1, Block 1, Rockwall Kia (recorded plat attached)





STATE OF TEXAS  
COUNTY OF ROCKWALL

THEREAS SALAHOUN FAMILY, L.P. BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

PROPERTY DESCRIPTION

Being that certain tract of land situated in the John Lockhart Survey, Abstract No. 134, Rockwall County, Texas, being that certain tract of land described in deed to David Zalman (Trustee) as recorded in Volume 4605, Page 60, of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows;

BEGINNING at a found 5/8-inch iron rod on the southeast line of East Bound Service Road of I-30 at the northwest corner of said Zalman tract and being at the northeast corner of that certain tract of land described in deed to T. Devlon Corporation as recorded in Volume 1233, Page 28, said Deed Records;

THENCE North 73 degrees 51 minutes 00 seconds East, a distance of 300.00 feet along the southeast line of said East Bound Service Road of I-30 to a point at the northeast corner of said Zalman tract and being at the northwest corner of that certain tract of land described in deed to Michael L. Peoples, Sr... as recorded in Volume 1192, Page 145, said Deed Records;

THENCE South 04 degrees 30 minutes 06 seconds East, a distance of 813.68 feet along the east line of said Zalman tract to a found iron pipe at the southeast corner of said Zalman tract and being on the north line of that certain tract of land described in deed to Hitt Family Limited Partnership as recorded in Volume 1875, Page 238, of said Deed Records;

THENCE South 68 degrees 03 minutes 20 seconds West, a distance of 350.75 feet to a point at the southwest corner of said Zalman tract and being at the sootiest corner of aforesaid T. Devlon Corporation tract;

THENCE North 01 degree 46 minutes 48 seconds West, a distance of 859.22 feet along the west line of said Zalman tract to the POINT OF BEGINNING and containing 260,988 square feet or 5.992 acres of land.

NOW THEREFORE, KN'W ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the KIA Rockwall subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the KIA Rockwall subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city of secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement; but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city of secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. Owner responsible for maintenance and operation of detention pond.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Owner

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Shahab Salehoun known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

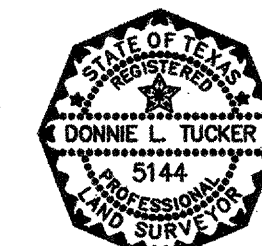
Given upon my hand and seal of office this 21 Day of Feb 2008

Kristi Platt  
Notary Public in and for the State of Texas

3-25-2010  
My Commission Expires:



LEGEND			
---	PIPE LINE	██████	BRICK
---	GAS LINE	██████	CONCRETE
---	OVERHEAD ELECTRIC LINE	██████	TRAFFIC SIGNAL CONTROL
---	OVERHEAD TELE. LINE	██████	TRAFFIC SIGNAL POLE
---	RAIL SEWER LINE	██████	LIGHT POLE
---	STORM SEWER LINE	██████	UTILITY POLE
---	UNDERGROUND ELECTRIC LINE	██████	ELECTRIC METER
---	UNDERGROUND TELE. LINE	██████	TRANSFORMER
---	WATER LINE	██████	GAS METER
---	CONCRETE	██████	GAS VALVE
---	EDGE OF ASPHALT	██████	GAS LED
---	WOOD FENCE	██████	FIRE HYDRANT
---	WIRE FENCE	██████	WATER METER
---	IRON FENCE	██████	WATER VALVE
---	CHAIRBACK FENCE	██████	IRRIGATION CONTROL VALVE
---	COLUMNS	██████	
---		██████	



Donnie L. Tucker  
R.P.L.S. #5144

OWNER: SALAHOUN FAMILY, L.P.  
39638 LBJ FREEWAY  
DALLAS, TX. 75232  
PHONE: 972-283-9797  
FAX: 972-283-5862

FINAL PLAT -- PAGE 2 OF 2  
260,988 SQ. FT. -- 5.9915 AC.  
LOT 1, BLOCK 1, ROCKWALL KIA  
1790 EAST I-30  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

DRAWN BY:	JT
CHECKED BY:	JT
SCALE:	N.T.S.
DATE:	01/26/08
JOB NO.:	08-1500
GP NO.:	
MAPBOOK NO.:	

RECOMMENDED FOR FINAL APPROVAL

CW Bricker 3/25/08  
Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 15th day of February, 2008.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this 24th day of March, 2008.

William R. Cecil Kristy Ashberry  
Mayor, City of Rockwall City Secretary

Chuck Add 3-24-08  
City Engineer

SURVEYORS CERTIFICATE

I hereby certify that on the 21st day of November, 2006, this survey was made on the ground as per the field notes shown on this survey and is true, correct, and accurate as to the boundaries and area of the subject property and the size, location, and type of buildings and improvements thereon, if any, and as to the other matters shown hereon, and correctly shows the location of all visible easements and rights-of-way and of all rights-of-way, easements, and any other matters of record, or of which I have knowledge of have been advised, whether or not of record, affecting the subject property, and the location of all curb cuts and driveways, if any.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, (Name) Donnie L. Tucker, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

(Name) Donnie L. Tucker, Registered Public Surveyor No. 5144.

DT

G-280

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS AND AN ACCESSORY MAJOR AUTO REPAIR GARAGE ON A 5.9613-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1, ROCKWALL KIA ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBITS 'A' AND 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership for Cars and Light Trucks* and an accessory *Major Auto Repair Garage* to allow the expansion of an existing *New Motor Vehicle Dealership* being a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall Kia Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and being more specifically depicted and described in *Exhibits 'A' and 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 22-02 [S-266]* the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 22-02*.

**SECTION 2.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *New Motor Vehicle Dealership for Cars and Light Trucks* and



accessory *Major Auto Repair Garage* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 3.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, and Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

### 3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New Motor Vehicle Dealership for Cars and Light Trucks* and an accessory *Major Auto Repair Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- (2) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
- (3) Motor vehicle inventory for the existing *New Motor Vehicle Dealership for Cars and Light Trucks* and/or *Major Auto Repair Garage* shall not be parked/stored on an unimproved surface.
- (4) The outside storage of tires or any other automotive parts shall be prohibited.
- (5) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.

### 3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 8.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF MAY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2024

2<sup>nd</sup> Reading: May 6, 2024



**Exhibit 'A'**  
**Zoning Exhibit**

Address: 1790 E. IH-30

Legal Description: Lot 1, Block 1, Rockwall Kia Addition

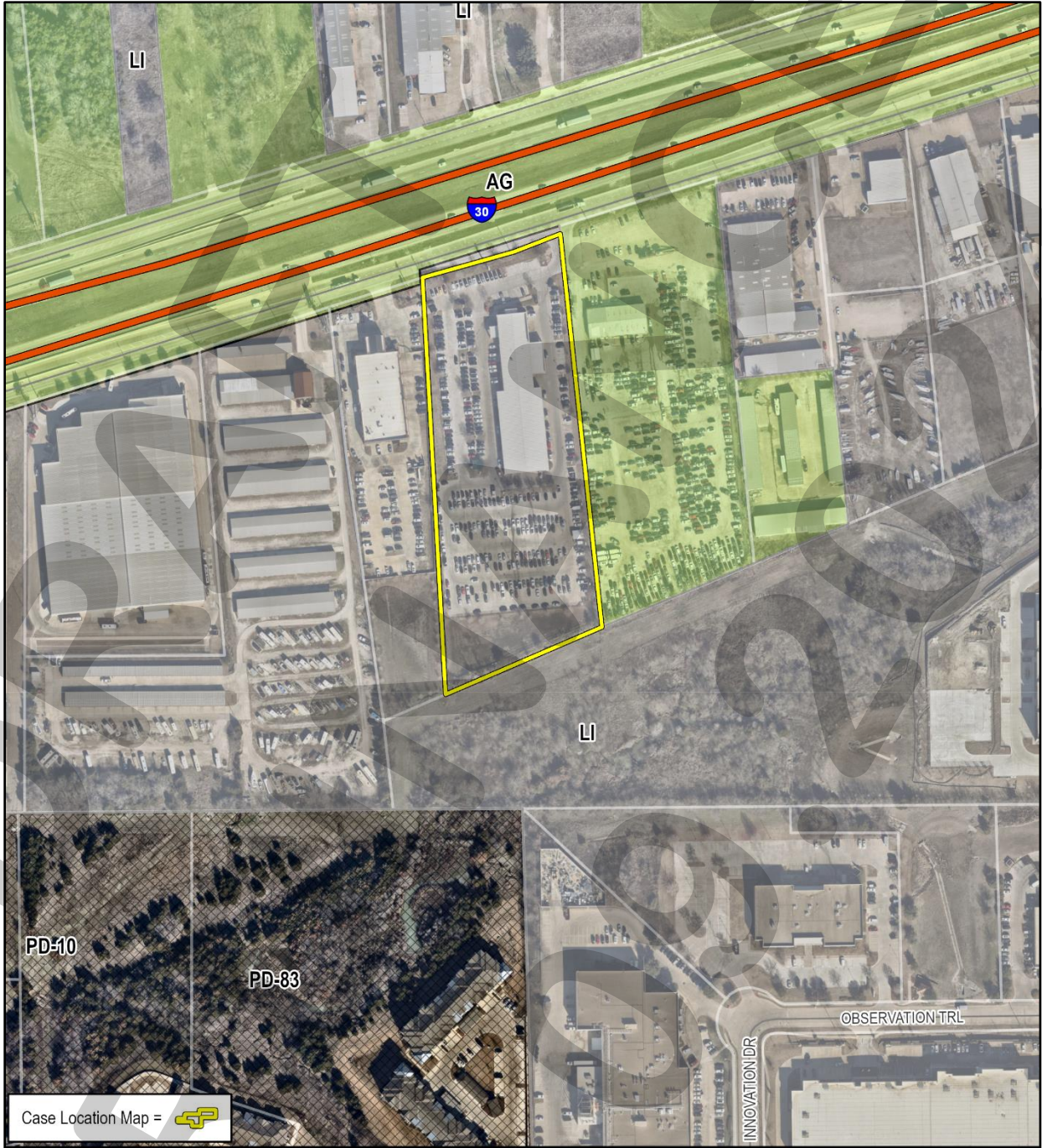
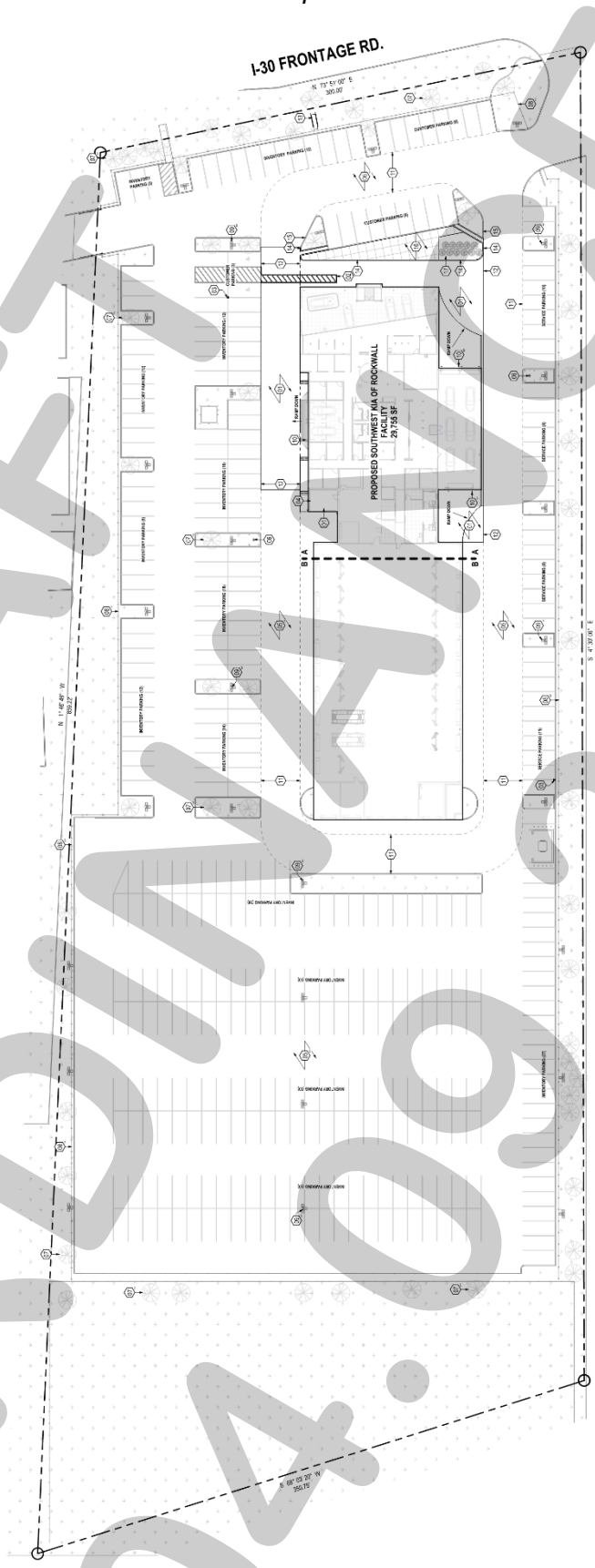




Exhibit 'B':  
Concept Plan





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2024  
**APPLICANT:** Alan Wyatt  
**CASE NUMBER:** Z2024-011; *Specific Use Permit (SUP) for a Flag Pole at 510 Turtle Cove Boulevard*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Alan Wyatt on behalf of PSB Indemnity Family, LTD PTRN for the approval of a Specific Use Permit (SUP) to allow a *structure in excess of 36-feet in the Scenic Overlay (SOV) District* to allow the construction of a flag pole on a 1.158-acre parcel of land identified as a Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 510 Turtle Cove Boulevard, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on September 5, 1960 by *Ordinance No. 60-02 (i.e. Case No. A1960-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the City's *Historic Zoning Maps* the subject has been zoned Commercial (C) District since January 3, 1972. On July 26, 1984, the subject property was established as Lot 2, Block A, Rockwall Executive Center Addition. According to the Rockwall Central Appraisal District (RCAD), there is a 49,479 SF commercial office building situated on the subject property that was constructed in 1985. The subject property has remained unchanged since this building was established.

### PURPOSE

The applicant -- *Alan Wyatt* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *structure in excess of 36-feet in the Scenic Overlay (OV) District* for the purpose of constructing a flag pole on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is located at 510 Turtle Cove Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 2.187-acre tract of land (*which is part of a larger 2.681-acre tract of land identified as Tract 22 of the E.P.G. Survey, Abstract No. 64*). Beyond this, is a house of worship (*i.e. Great Faith Church*) which sits on a 2.95-acre parcel of land. Both of these properties are zoned Commercial (C) District. North of this is the right-of-way for the Union Pacific/Dallas Garland NE Railroad.

South: Directly south of the subject property is a 1.049-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Executive Center Addition*) zoned Commercial (C) District. Beyond this is Turtle Cove Boulevard, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a vacant parcel of land (*i.e. Lot 5, Block A, MTA Andrews Addition*) zoned Commercial (C) District.

East: Directly east of the subject property is a 2.187-acre tract of land (*which is part of a larger 2.681-acre tract of land identified as Tract 22 of the E.P.G. Survey, Abstract No. 64*). Beyond this is a 0.434-acre parcel of land (*i.e. Lot 1, Ridge Road Office Park*) with several commercial businesses (*i.e. State Farm and Spillman Family Dental*). East of this is Ridge Road, which is identified as an A4D (*i.e. arterial, four (4) lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Turtle Cove Boulevard, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.1994-acre vacant tract of land (*i.e. Lot 5, Block A, MTA Andrews Addition*) that is zoned Commercial (C) District.

## **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

According to Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the maximum height for a structure in a Commercial (C) District is 60-feet; however, the City Council may grant a Specific Use Permit (SUP) for a structure up to 240-feet through a Specific Use Permit (SUP). In this case, the subject property is zoned Commercial (C) District and is situated within the Scenic Overlay (SOV) District. According to the *Special Use Standards* in Subsection 06.02 (B), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...development within the Scenic Overlay (SOV) District...shall comply with the *Land Use Schedule* contained in Article 04, *Permissible Uses*, of this Unified Development Code (UDC)..."; however, the following land uses may be considered on a *case-by case* basis through a Specific Use Permit: (A) Retail Store with Gasoline Sales (*Any Number of Dispensers or Vehicles*), (B) Car Wash, or (C) Structures Over 36-Feet in Height. In this case, the applicant is requesting a structure (*i.e. flag pole*) with an overall height of 60-feet which will require a Specific Use Permit (SUP). Staff should note that the proposed flag pole shall meet all of the required setbacks stipulated by Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

## **STAFF ANALYSIS**

In this case, the proposed flag pole does not appear to negatively impact any of the adjacent properties nor does it appear to create a visibility issue within the Scenic Overlay (SOV) District; however, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On March 22, 2024, staff mailed 44 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Turtle Cove and Lakeside Village Homeowner Associations which are the only Homeowner Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

## **CONDITIONS OF APPROVAL**

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) to allow a *structure in excess of 36-feet in height in the Scenic Overlay (SOV) District*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Flag Pole* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of the draft ordinance;
  - (c) The proposed flag pole shall not exceed a maximum overall height of 60-feet as measured from the grade; and,
  - (d) The flag shall be maintained in good condition, free of tears, rips, fraying, or fading.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of



Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	510 Turtle Cove #200		
SUBDIVISION	Rockwall Executive Center	LOT	2
		BLOCK	A
GENERAL LOCATION	510 Turtle Cove Blvd		

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Commercial	CURRENT USE	Commercial
PROPOSED ZONING	Commercial	PROPOSED USE	Commercial
ACREAGE	1.158	LOTS [CURRENT]	LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	PSB Indemnity Family Ltd Ptrn	<input checked="" type="checkbox"/> APPLICANT	Alan Wyatt
CONTACT PERSON	Alan Wyatt	CONTACT PERSON	Alan Wyatt
ADDRESS	510 Turtle Cove Blvd #200	ADDRESS	510 Turtle Cove Blvd
CITY, STATE & ZIP	Rockwall Texas 75087	CITY, STATE & ZIP	Rockwall Texas 75087
PHONE	972-670-1309	PHONE	972-670-1309
E-MAIL	edwinwade@gmail.com	E-MAIL	edwinwade@gmail.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alan Wyatt [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ March TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THE 14<sup>th</sup> DAY OF March, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (ITS CITY CLERK) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

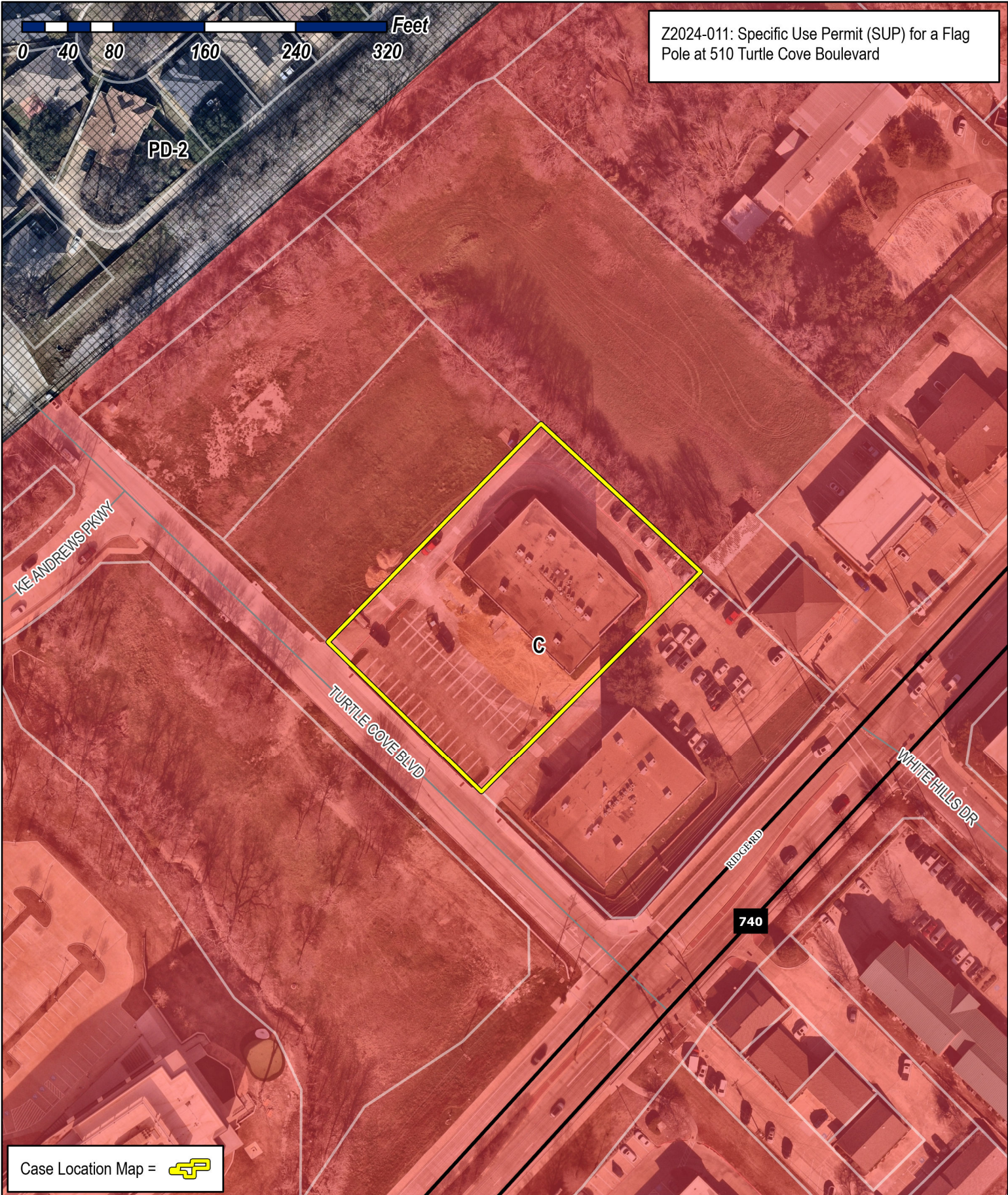
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14<sup>th</sup> DAY OF March, 2024

OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Z2024-011: Specific Use Permit (SUP) for a Flag Pole at 510 Turtle Cove Boulevard

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



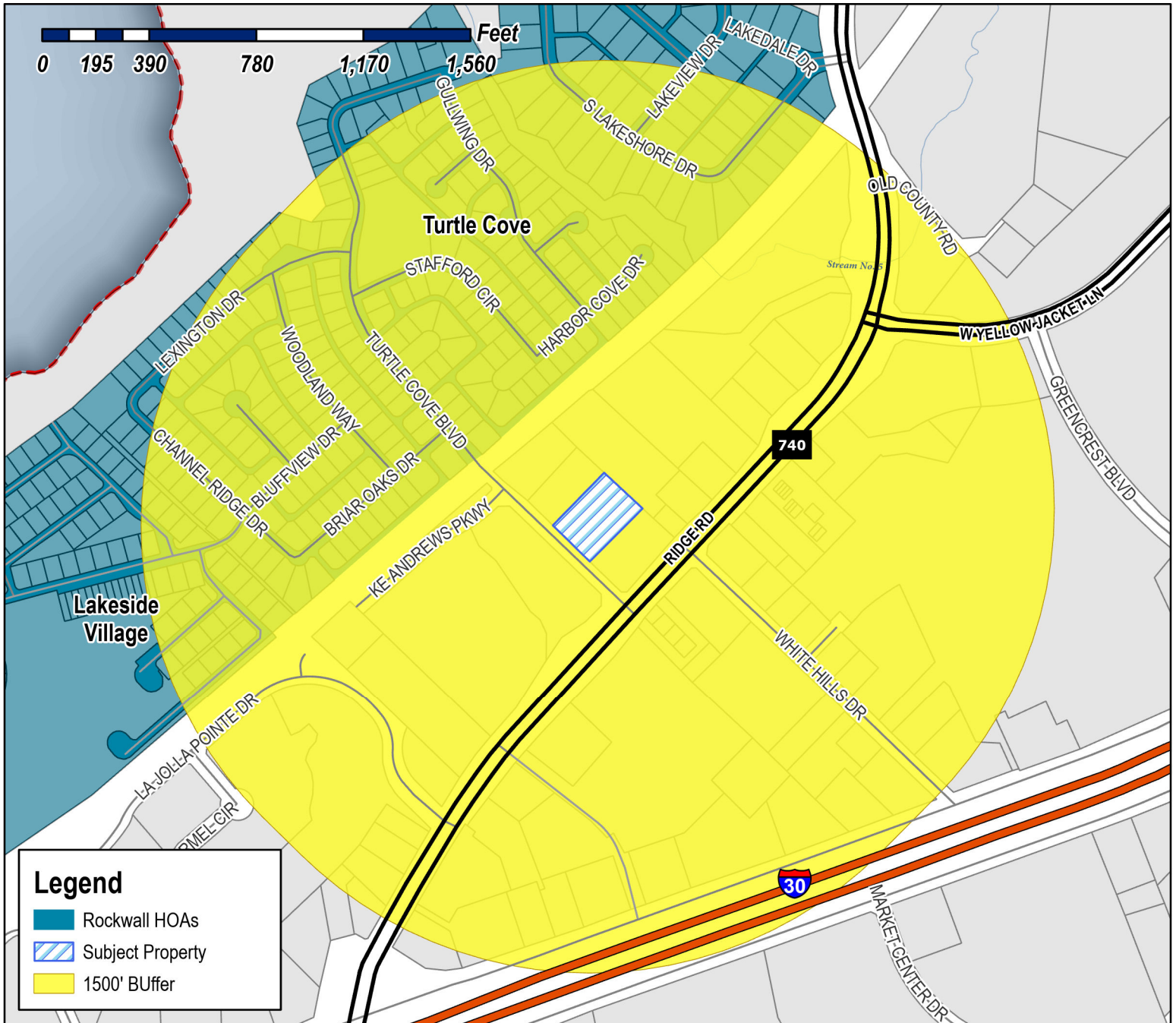




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**Case Number:** Z2024-011  
**Case Name:** Specific Use Permit (SUP) for a Flag Pole at 510 Turtle Cove Boulevard  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 510 Turtle Cove Suite 200

**Date Saved:** 3/14/2024  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program [Z2024-011}  
**Date:** Tuesday, March 19, 2024 10:59:30 AM  
**Attachments:** [Public Notice \(P&Z\) \(03.15.2024\).pdf](#)  
[HOA Map \(3.14.2024\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday March 22, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, April 9, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, April 15, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-011: SUP for a Flagpole

Hold a public hearing to discuss and consider a request by Alan Wyatt on behalf of PSB Indemnity Family, LTD PTRN for the approval of a [Specific Use Permit \(SUP\)](#) to all a structure in excess of 36-feet in the Scenic Overlay (SOV) District to allow the construction of a flag pole on a 1.158-acre parcel of land identified as a Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 510 Turtle Cove Boulevard, and take any action necessary.

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568

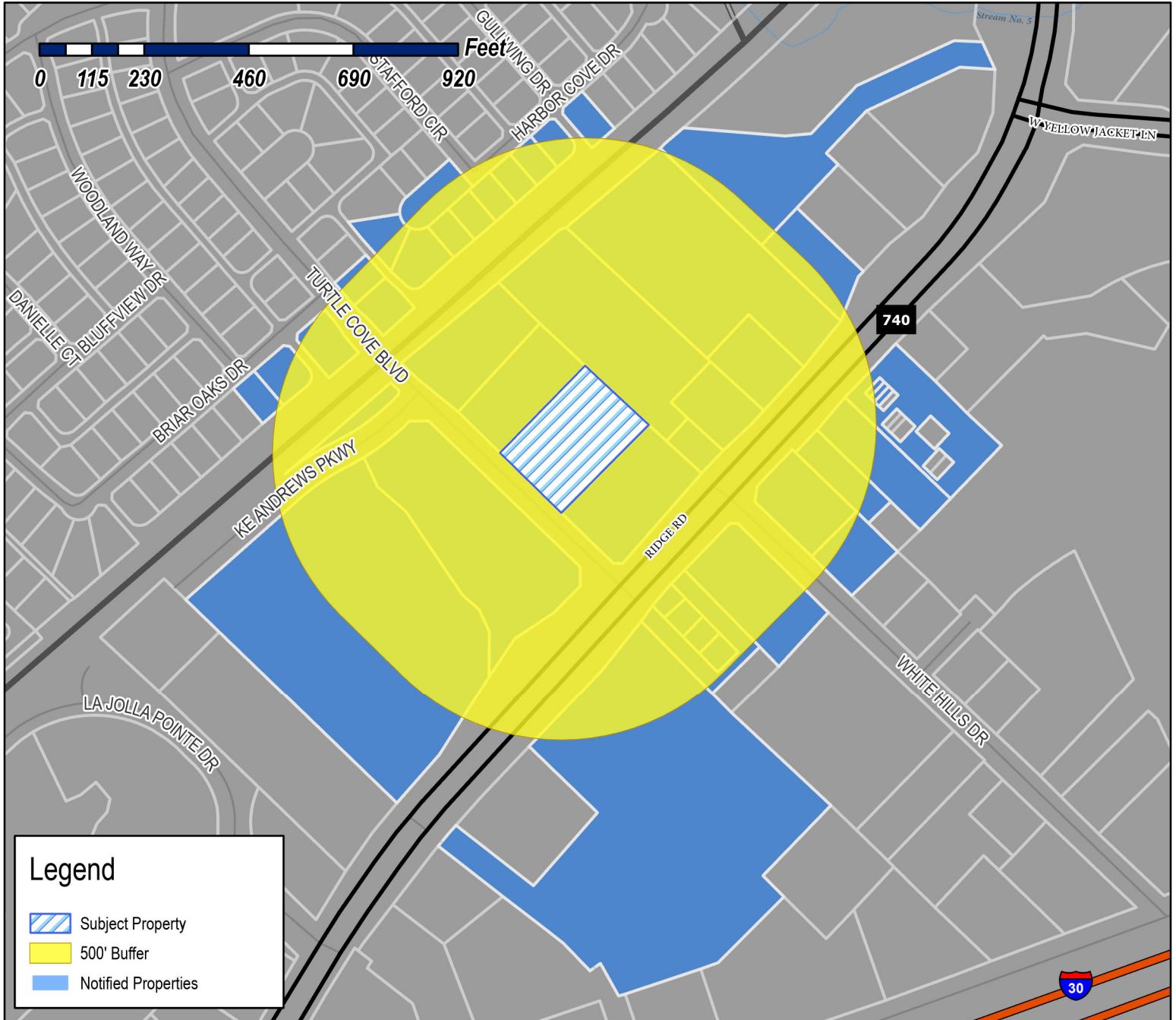




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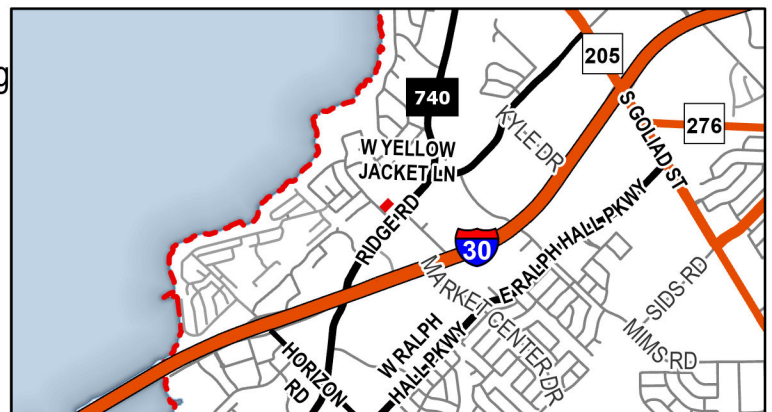
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**Case Number:** Z2024-011  
**Case Name:** Specific Use Permit (SUP) for a Flag Pole at 510 Turtle Cove Boulevard  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 510 Turtle Cove Suite 200

**Date Saved:** 3/14/2024

For Questions on this Case Call: (972) 771-7746





TURTLE COVE RESIDENTIAL ASSOC  
C/O NEIGHBORHOOD MANAGEMENT  
1024 S GREENVILLE AVE SUITE 230  
ALLEN, TX 75002

7.1 RIDGE LLC  
106 E RUSK SUITE 200  
ROCKWALL, TX 75087

JARA PARTNERS LTD  
1425 HUNTERS GLEN  
ROYSE CITY, TX 75189

MOURIER LAND INVESTMENT CORPORATION  
1430 BLUE OAKS BLVD STE 190  
ROSEVILLE, CA 95747

LAKEWOOD PROPERTIES LLC  
1864 MCDONALD RD  
ROCKWALL, TX 75032

RESIDENT  
2230 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2231 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2245 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2251 RIDGE RD  
ROCKWALL, TX 75087

MMF INVESTMENTS LLC  
2255 RIDGE RD SUITE 333  
ROCKWALL, TX 75087

HUDSPETH FREDERICK WARD ESTATE  
NONA MAHAFFY HUDSPETH INDEPENDENT  
EXECUTOR  
2304 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2305 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2306 RIDGE RD  
ROCKWALL, TX 75087

SPILLMAN DENTAL PROPERTIES LLC  
2308 RIDGE RD STE B  
ROCKWALL, TX 75087

RESIDENT  
2310 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2313 RIDGE RD  
ROCKWALL, TX 75087

2424 MTA REALTY LLC  
2424 RIDGE ROAD  
ROCKWALL, TX 75087

RESIDENT  
2455 RIDGE RD  
ROCKWALL, TX 75087

2455 RIDGE LLC  
2701 CUSTER PARKWAY SUITE 706  
RICHARDSON, TX 75080

2251 RIDGE ROAD LLC  
4131 N CENTRAL EXPRESSWAY SUITE 450  
DALLAS, TX 75204

RESIDENT  
500 TURTLE COVE BLVD  
ROCKWALL, TX 75087

PSB INDEMNITY FAMILY LTD PTRN  
510 TURTLE COVE BLVD STE 200  
ROCKWALL, TX 75087

RICE CARINE  
545 BEDFORD FALLS  
ROCKWALL, TX 75087

PACHECO ENRIQUE AND JOANN T  
5788 W SKY HAWK TRL  
ROYSE CITY, TX 75189

RESIDENT  
600 TURTLE COVE BLVD  
ROCKWALL, TX 75087

SEAY KENNETH WAYNE & ELIZABETH CAUFIELD  
623 HARBOR COVE DRIVE  
ROCKWALL, TX 75087

LITHERLAND LORILEE  
627 HARBOR COVE DR  
ROCKWALL, TX 75087

RESIDENT  
629 HARBOR COVE DR  
ROCKWALL, TX 75087

ONTIVEROS NADINE MARGARET & ALFREDO  
JOSE  
631 HARBOR COVE DRIVE  
ROCKWALL, TX 75087

BARROW KYLE  
633 HARBOR COVE DR  
ROCKWALL, TX 75087

JIMMIE AND BARBARA ALFORD REVOCABLE  
TRUST  
JIMMIE LEE ALFORD AND BARBARA EDWARDS  
ALFORD-COTRUSTEES  
635 STAFFORD CIR  
ROCKWALL, TX 75087

RESIDENT  
637 STAFFORD CIR  
ROCKWALL, TX 75087

GARRISON KIMBERLY RAE AND JOHN  
638 TURTLE COVE BLVD  
ROCKWALL, TX 75087

HAYS FAMILY TRUST  
JOAN AVOY HAYS - TRUSTEE  
639 STAFFORD CIR  
ROCKWALL, TX 75087

GOODWIN HEATHER  
641 STAFFORD CIR  
ROCKWALL, TX 75087

SMITH RICHARD G EBERLE  
642 TURTLE COVE BLVD  
ROCKWALL, TX 75087

ROCKWALL ALIGNED REI LP  
8637 FREDERICKSBURG RD SUITE 360  
SAN ANTONIO, TX 78240

GAY-SEVITS MORIAH E  
920 BRIAR OAK  
ROCKWALL, TX 75087

BISHOP MICHAEL F  
926 BRIAR OAK DR  
ROCKWALL, TX 75087

HUGHES NICHOLAS AND AMY  
930 BRIAR OAKS DR  
ROCKWALL, TX 75087

CENTERS FOR PEACE AND MERCY, INC  
P.O. BOX 615  
ROCKWALL, TX 75087

DAIKER PARTNERS LTD.  
PO BOX 1059  
ROCKWALL, TX 75087

GLOBAL ADVANCE INC  
PO BOX 742077  
DALLAS, TX 75374

ALMLAM REAL ESTATE LLC  
PO BOX 755  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-011: SUP for a Flagpole

Hold a public hearing to discuss and consider a request by Alan Wyatt on behalf of PSB Indemnity Family, LTD PTRN for the approval of a *Specific Use Permit (SUP)* to all a structure in excess of 36-feet in the Scenic Overlay (SOV) District to allow the construction of a flag pole on a 1.158-acre parcel of land identified as a Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 510 Turtle Cove Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

## Case No. Z2024-011: SUP for a Flagpole

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

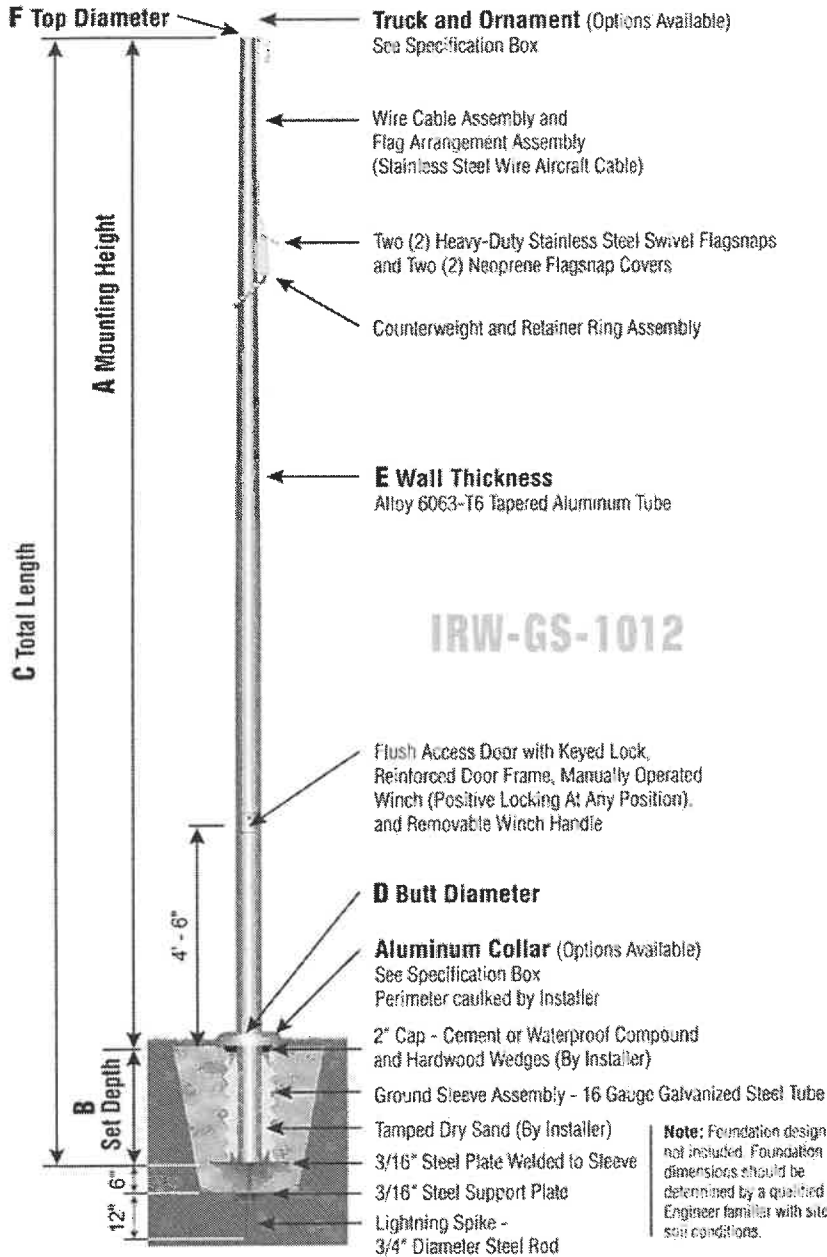
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





## Independence Series

IRW - Internal with Winch  
Wire Halyard  
Ground Set Installation



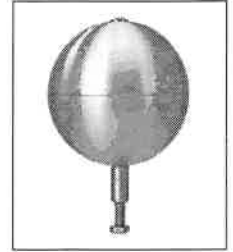
IRW-GS-1012

IRW60D13

SAT



**TRK-9800-58**  
Int. Revolving Truck  
Sealed Bearings



**BAL-1058-GLD**  
HD Gold Anodized  
Aluminum Ball



**COL1-A10S**  
FC-11 Spun Alum  
1-Piece



**SAT**  
Satin Finish



**IRW - WINCH**  
Reinforced Welded  
Door Frame

### Specifications

A. Mounting Height: 60'

B. Set Depth: 6'-0"

C. Total Length: 66'-0"

D. Butt Diameter: 10"

E. Wall Thickness: .188"

F. Top Diameter: 4"

Flagpole Sections: 3

Shaft Weight: 501 lbs.

Hardware Weight: 52 lbs.

Ground Sleeve Weight: 90 lbs.

\* Max Flag Size: 12' x 18'

\* Max Wind Speed w/Nylon Flag: 86 mph

\* Max Wind Speed No Flag: 118 mph

\* Wind Speed Specifications from  
ANSI/NAAMM FP 1001-07

Customer Name: Texas Specialty

Dealer: Epic Eagle

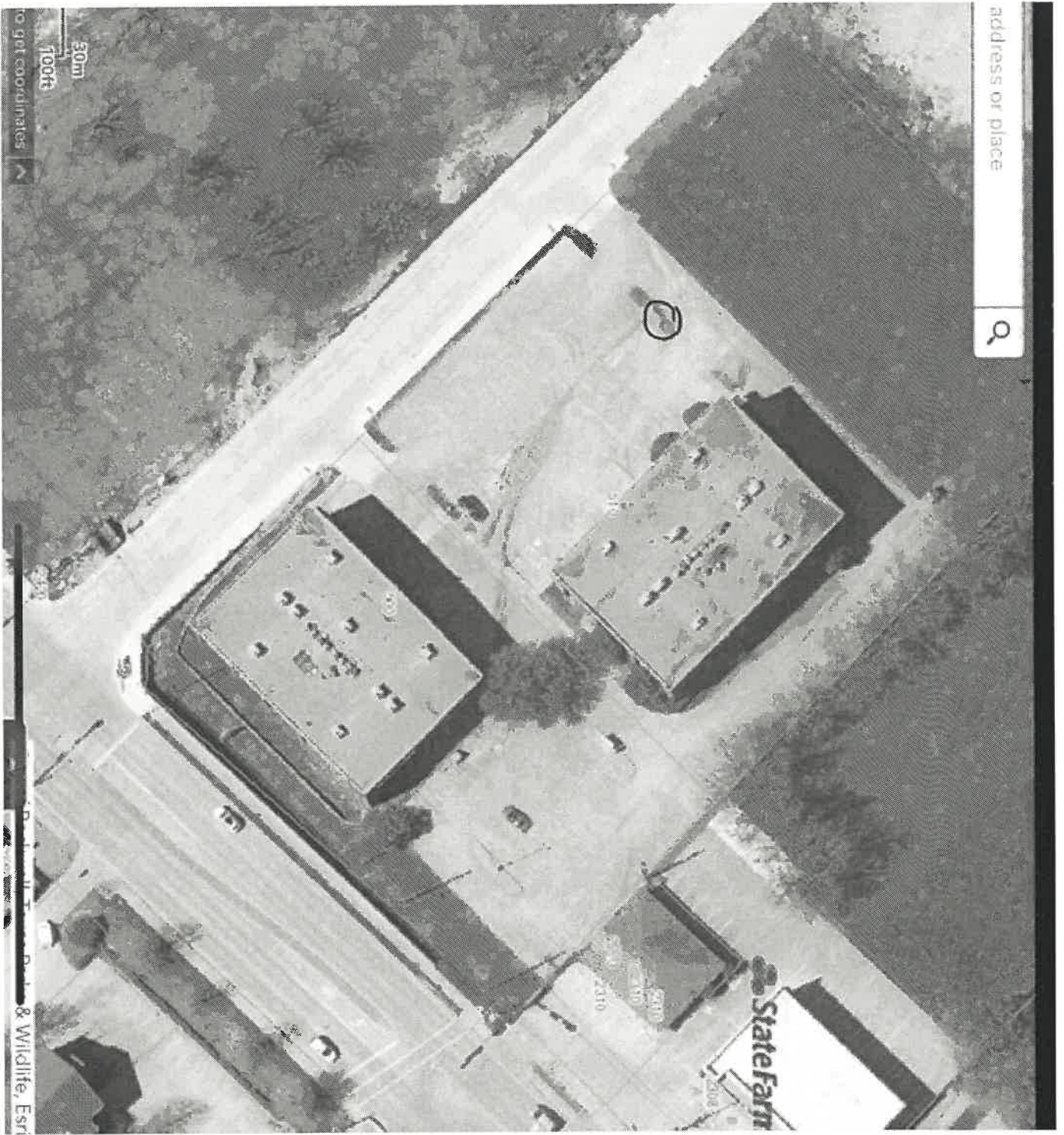
Qty: 1

Project: 60' Rockwall Turtle Cove

Location: Rockwall

Notes:

IRW60D13G-TAZ-O0F-C2C-FSA



↑ North

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *STRUCTURE IN EXCESS OF 36-FEET IN HEIGHT IN THE SCENIC OVERLAY (SOV) DISTRICT* TO ALLOW THE CONSTRUCTION OF A FLAG POLE ON A 1.158-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, ROCKWALL EXECUTIVE CENTER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Alan Wyatt for the approval of a Specific Use Permit (SUP) to allow a *structure in excess of 36-feet in height in the Scenic Overlay (SOV) District* to allow the construction of a flag pole on a 1.158-acre parcel of land being described as Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 510 Turtle Cove Boulevard, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *structure in excess of 36-feet in height in the Scenic Overlay (SOV) District* to allow the construction of a flag pole in accordance with Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in



Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, and Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction and continued operation of a flag pole on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of a flag pole on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The proposed flag pole shall not exceed a maximum overall height of 60-feet as measured from grade.
- 4) The flag shall be maintained in good condition free of tears, rips, fraying, or fading.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF MAY, 2024.**

\_\_\_\_\_  
Trace Johannessen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2024

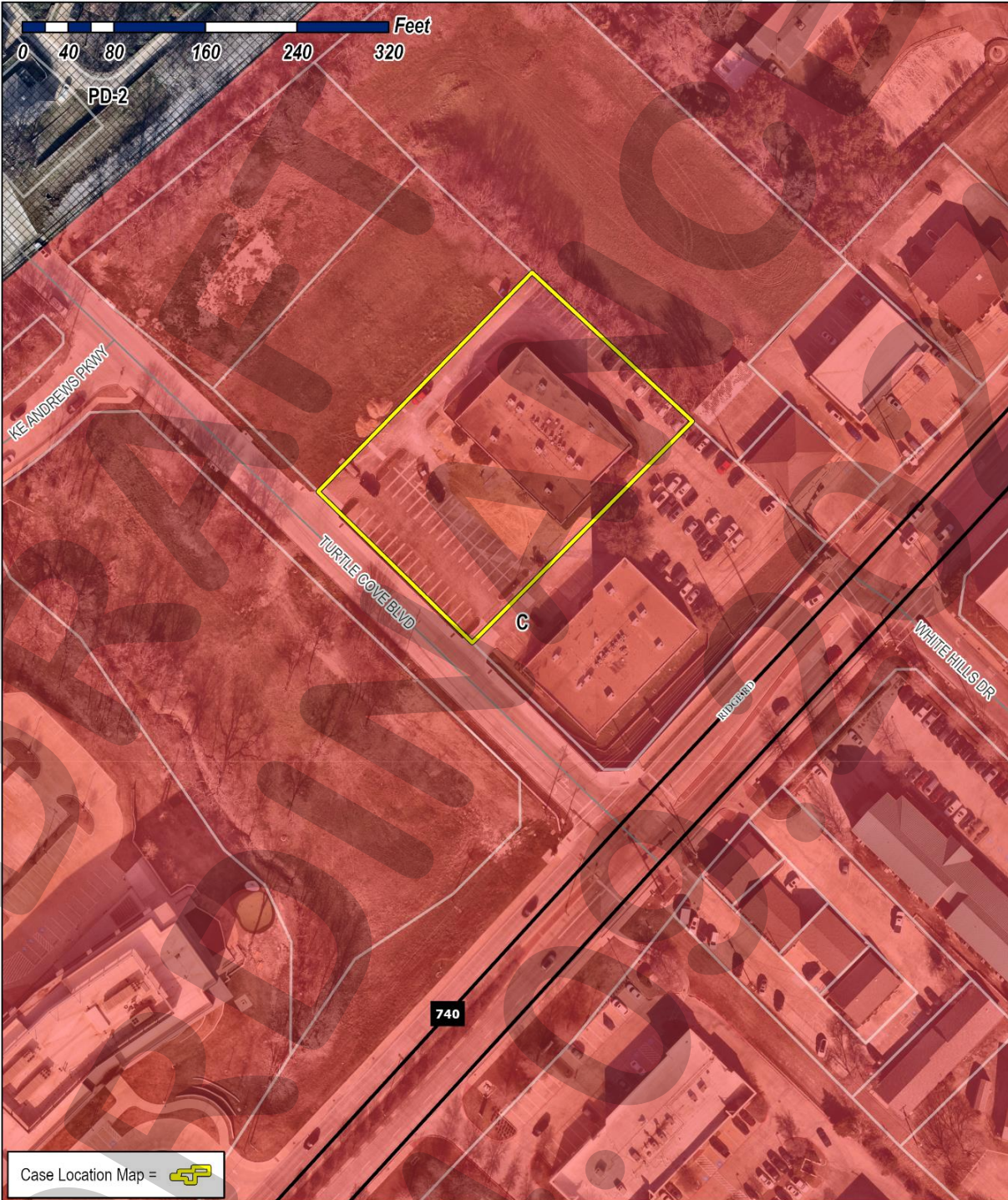
2<sup>nd</sup> Reading: May 6, 2024



**Exhibit 'A'**  
**Location Map and Survey**

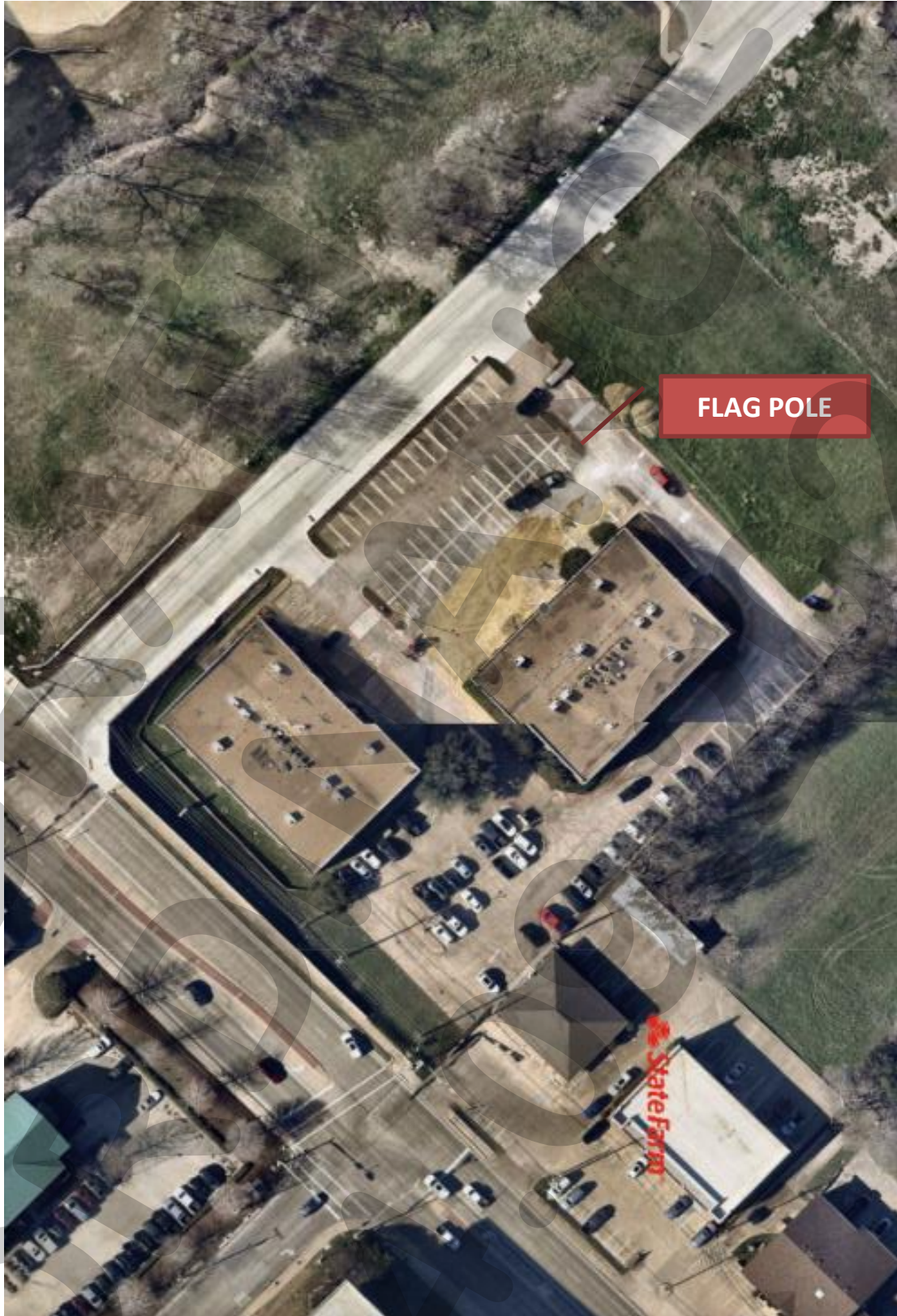
Address: 510 Turtle Cove Boulevard

Legal Description: Lot 2, Block A, Rockwall Executive Center Addition





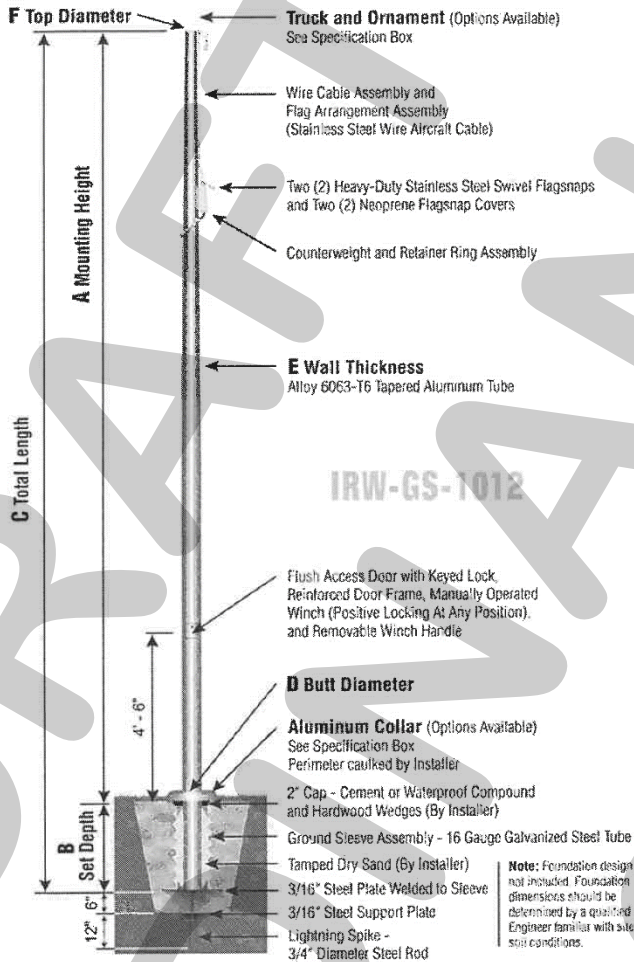
**Exhibit 'B':**  
*Concept Plan*



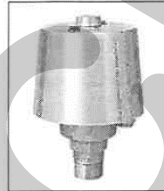
**Exhibit 'C':  
Flag Pole Elevations**



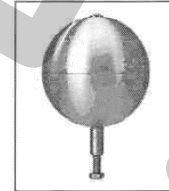
**Independence Series**  
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Wire Halyard  
Ground Set Installation



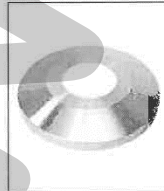
**IRW60D13 - SAT**



**TRK-9800-58**  
Int. Revolving Truck  
Sealed Bearings



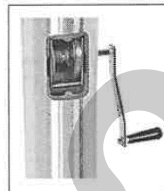
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Customer Name: Texas Specialty	
Dealer: Epic Eagle	Qty: 1
Project: 60' Rockwall Turtle Cove	Location: Rockwall
Notes:	

IRW60D13G-TAZ-00F-C2C-FSA

CAFP\_010819\_1pg





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2024  
**APPLICANT:** Preston Harris; *Harris Family Lake House, LLC*  
**CASE NUMBER:** Z2024-012; *Specific Use Permit (SUP) for Pickleball Courts at 1722 Ridge Road*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Preston Harris of Harris Family Lake House, LLC for the approval of a *Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts)* on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and take any action necessary.

### BACKGROUND

Based on the City's annexation ordinances the subject property was annexed on September 5, 1960 by *Ordinance No. 60-02 [Case No. A1960-002]*. According to the Rockwall Central Appraisal District, currently situated on the subject property is a 2,417 SF single-family home built in 1962, and a 1,682 SF *Guest Quarters/Secondary Living Unit* built in 1992. According to the City's *Historic Zoning Maps*, the subject property was zoned Single Family 2 (SF-2) District as of January 3, 1972. Between January 3, 1972 and May 16, 1983, this zoning designation was changed to a Single-Family 10 (SF-10) District. This zoning designation has not changed since it was established. On September 9, 1985, the City Council approved a final plat [*Case No. PZ1985-024-01*] that establish the subject property as Lot 4, Block C, The Estates of Coast Royale #1 Addition.

### PURPOSE

The applicant -- *Preston Harris of Harris Family Lake House, LLC* -- is requesting the approval of a Specific Use Permit (SUP) to allow an unpermitted *Pickleball Court* to remain on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1722 Ridge Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) estate style parcels of land (*i.e. Lots 3 & 6, Block C, The Estates of Coast Royale #1 Addition*) developed with single-family homes. Beyond this is the Lake Ray Hubbard Estates Subdivision, which was established December 10, 1973 and consists of 65 single-family homes. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property is a 2.1029-acre parcel of land (*i.e. Lot 5, Block C, The Estates of Coast Royale #1 Addition*) developed with a single-family home. Beyond this are two (2) tracts of land (*i.e. Tracts 4 & 12 of the D. Atkins Survey, Abstract No. 1*) developed with single-family homes. Following this is the Lakeridge Park Subdivision, which was established September 29, 1972 and consists of 87 single-family homes. All of these properties are zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is Ridge Road, which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 12.1148-acre tract of land (*i.e. Tract 2 of the D. Atkins Survey, Abstract No. 1*), zoned Planned Development District 4 (PD-4) for limited General Retail (GR) District land uses.





visible source of illumination so as not to create a traffic hazard or a public nuisance.” In this case, there is one (1) light pole with two (2) light fixtures that are unshielded and not directed downward.

## **STAFF ANALYSIS**

In this case, the applicant has stated that the unpermitted *Private Tennis Court (Pickleball Court)* is primarily intended to be used as a basketball court; however, since this structure will incorporate a pickleball court and lighting, the SUP for a *Private Tennis Court* is required. Additionally, the SUP for a *Private Tennis Court (Pickleball Court)* allows for operational conditions including lighting standards. Staff has provided an operational condition that requires the exterior light fixtures to be directed down and incorporate a shielded type of luminaire. With this being said, the Specific Use Permit (SUP) allows the Planning and Zoning Commission and City Council the ability review the full context of a request and grants them the discretion to approve or deny the request on a *case-by-case* basis.

When reviewing the location of the *Private Tennis Court (Pickleball Court)*, it is ~142-feet (North), ~200-feet (West), and ~270-feet (South) from the single-family homes on the adjacent properties; however, the properties west of the subject property are located at least 20-feet lower and may be affected by the lighting. With this being said, the *Private Tennis Court (Pickleball Court)* -- *excluding the lighting* -- does not appear to have a negative effect on the adjacent properties. The Planning and Zoning Commission and City Council should consider not only the *Private Tennis Court (Pickleball Court)*, but other aspects of the request (e.g. *nuisances like noise and lighting*). In this case, pickleball can be a loud sport, and -- *with the addition of lighting* -- light levels can spill over to adjacent properties creating a potential nuisance. Staff should point out that the lighting does appear to be directed to the existing tree line along the northern side of the subject property, and may not create an issue for adjacent properties; however, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

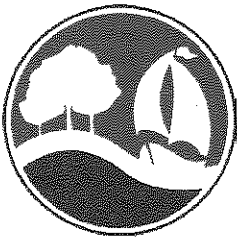
## **NOTIFICATIONS**

On March 19, 2024, staff mailed 62 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone and Turtle Cove Homeowner’s Associations (HOAs), which were the only Homeowner’s Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response from a property owner *within* the 500-foot notification area indicating they were in opposition of the applicant’s request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a *Specific Use Permit (SUP)* for a *Private Tennis Court (Pickleball Court)*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the *Specific Use Permit (SUP)* ordinance and which are detailed as follows:
  - (a) The Private Tennis Court (*Pickleball Court*) shall maintain conformance to *Exhibits ‘A’ and ‘B’* of this ordinance.
  - (b) All exterior lights placed or erected on the Private Tennis Court (*Pickleball Court*) shall be directed down. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.
  - (c) The applicant shall have 90-days to obtain a building permit for the Private Tennis Court (*Pickleball Court*).
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1722 Ridge Rd Rockwall, TX

SUBDIVISION Estates of Coast Royale #1

LOT 4

BLOCK C

GENERAL LOCATION Ridge and Yellow Jacket

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Harris Family Lake House LLC

APPLICANT

CONTACT PERSON Preston Harris

CONTACT PERSON

ADDRESS 1722 Ridge Rd

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP

PHONE 214.384.4525

PHONE

E-MAIL prestoncharris@gmail.com

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 237.83 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

OWNER'S SIGNATURE

SEE ATTACHMENT

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



# ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of San Diego)

On 3/14/24 before me, J. Gaspar, Notary Public  
(insert name and title of the officer)

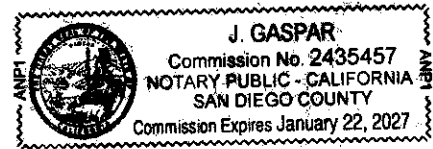
personally appeared Preston C. Harris  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature J. Gaspar

(Seal)







Z2024-012: Specific Use Permit (SUP) For a Pickle Ball Court at 1722 Ridge Road



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



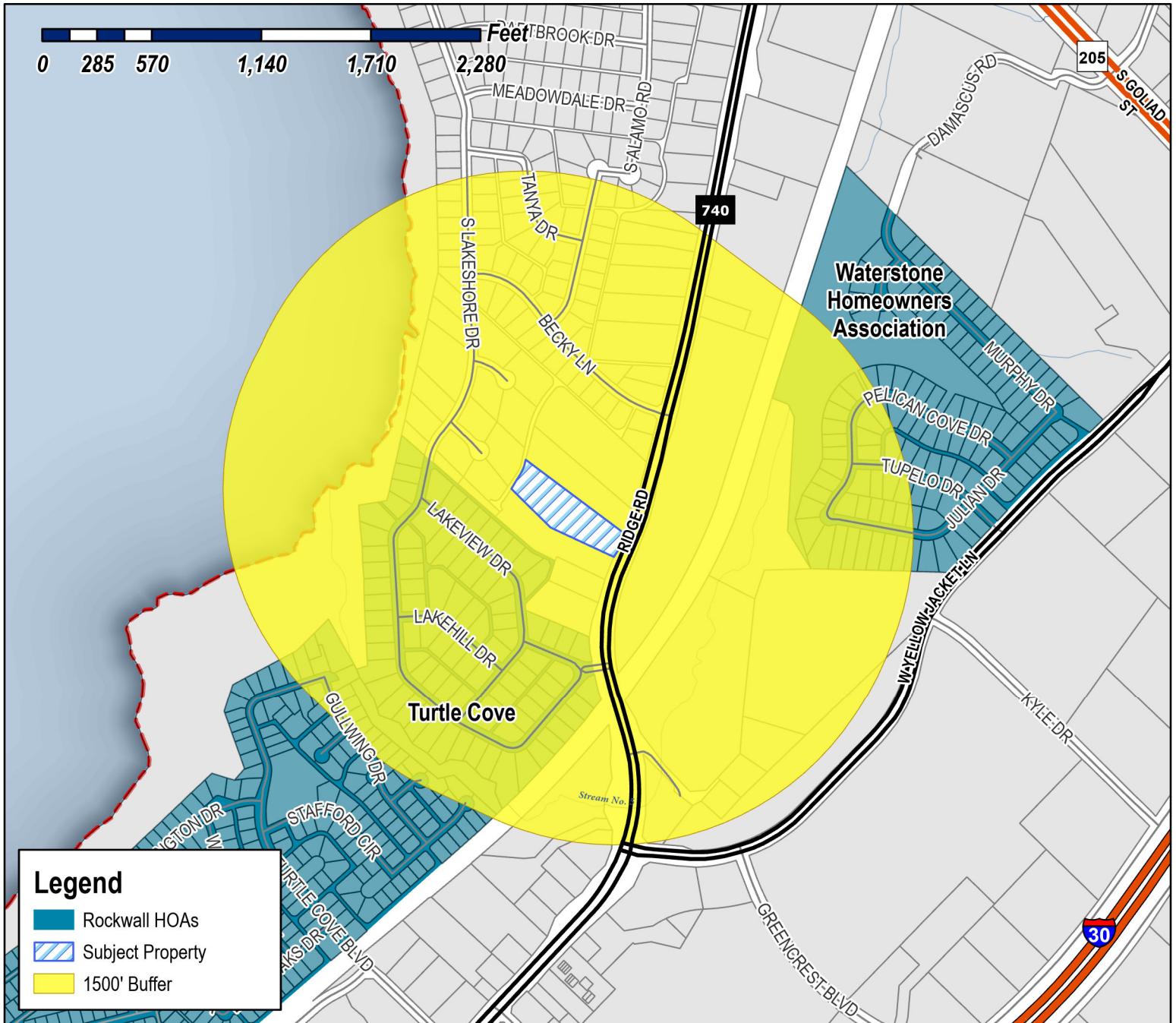




# City of Rockwall

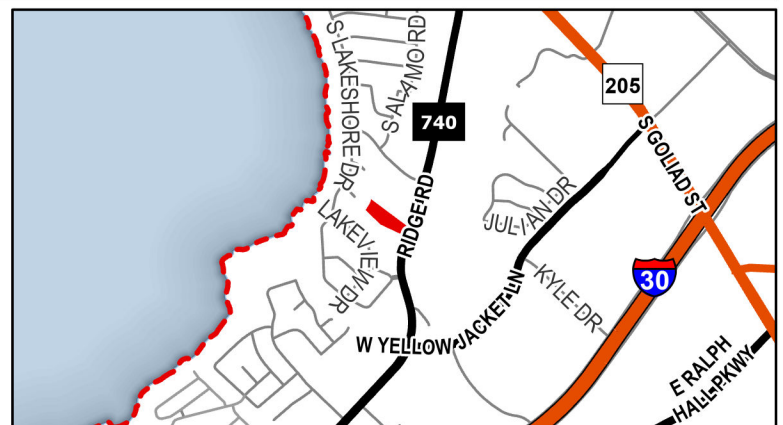
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2024-012  
**Case Name:** Specific Use Permit (SUP) for a Pickle Ball Court at 1722 Ridge Road  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 1722 Ridge Road

**Date Saved:** 3/15/2024  
 For Questions on this Case Call (972) 771-7745





**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program [Z2024-012]  
**Date:** Tuesday, March 19, 2024 10:59:35 AM  
**Attachments:** [HOA Map \(03.14.2024\).pdf](#)  
[Public Notice \(P&Z\) \(03.15.2024\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday March 22, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, April 9, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, April 15, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-012: SUP for a Tennis Court (Pickleball Court)

Hold a public hearing to discuss and consider a request by Preston Harris of Harris Family Lake House, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Tennis Courts (Pickleball Courts) on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and take any action necessary.

*Melanie Zavala*

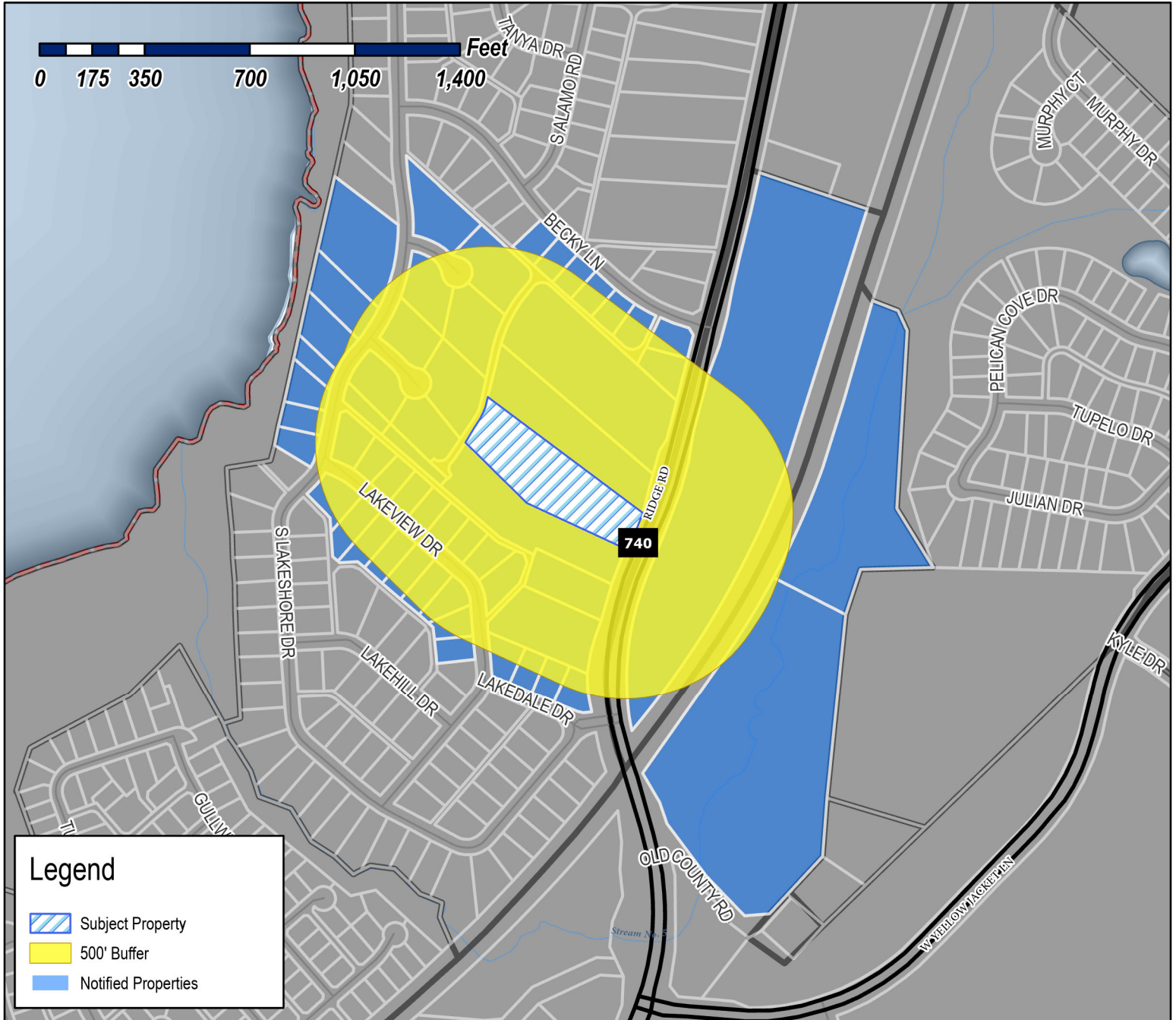
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2024-012  
**Case Name:** Specific Use Permit (SUP) for a Pickle Ball Court at 1722 Ridge Road  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 1722 Ridge Road

**Date Saved:** 3/14/2024

For Questions on this Case Call: (972) 771-7746



NEUFELL JAMES V AND FRANCINE M  
101 BECKY LN  
ROCKWALL, TX 75087

RESIDENT  
102 LAKEDALE DR  
ROCKWALL, TX 75087

MARSHALL RICHARD A AND  
KENNETH F WILSON  
103 BECKY LN  
ROCKWALL, TX 75087

BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

WEST KENDRA LYNN AND  
JOHN HENRY LEWIS  
104 LAKEDALE DRIVE  
ROCKWALL, TX 75087

COX MARCUS D  
105 BECKY LANE  
ROCKWALL, TX 75087

AZULAY TJ AND MELINDA  
105 EMERALD COVE  
HEATH, TX 75032

MARTINEZ GRACE & JESSE LEE III  
106 LAKEDALE DR  
ROCKWALL, TX 75087

RESIDENT  
107 BECKY LN  
ROCKWALL, TX 75087

PECK RUTH H  
108 LAKEDALE DR  
ROCKWALL, TX 75087

HFS MANAGEMENT INC  
C/O HANNA SAHLIYEH  
122 W JOHN CARPENTER FWY STE 400  
IRVING, TX 75039

WELLS RACHEL MARY  
1502 RIDGE ROAD  
ROCKWALL, TX 75087

BARRON JOSE ENRIQUE AND ELIZABETH  
1504 RIDGE RD  
ROCKWALL, TX 75087

MCANALLY JOHN L & CINDY N  
1600 RIDGE RD  
ROCKWALL, TX 75087

STAGGS STEVEN C & MARLYN D  
1601 SEASCAPE CT  
ROCKWALL, TX 75087

RESIDENT  
1602 RIDGE RD  
ROCKWALL, TX 75087

FIELDS R THEODORE JR &  
ALEXIA C  
1603 SEASCAPE CT  
ROCKWALL, TX 75087

WRIGHT JOHN & SUSAN  
1605 SEASCAPE CT  
ROCKWALL, TX 75087

RYAN THOMAS M & ROXANN W  
1607 SEASCAPE CT  
ROCKWALL, TX 75087

KENNETH & GLENDA JONES FAMILY TRUST  
KENNETH RAY JONES AND GLENDA JOYCE  
JONES- TRUSTEES  
1608 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

RESIDENT  
1609 CAPE HATTERAS PL  
ROCKWALL, TX 75087

BATIZ HECTOR  
1611 CAPE HATTERAS PLACE  
ROCKWALL, TX 75087

MILLER LIVING TRUST  
ROLAND MORRIS MILLER III TRUSTEE  
1612 S LAKESHORE DR  
ROCKWALL, TX 75087

NOBLIE LESLIE A  
1613 CAPE HATTERAS PL  
ROCKWALL, TX 75087

RIOS LUISA N AND MANOLO  
1614 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

RESIDENT  
1615 CAPE HATTERAS PL  
ROCKWALL, TX 75087

HARRIS FAMILY LAKE HOUSE, LLC  
1663 MISSOURI ST  
SAN DIEGO, CA 92109

SINGER JOHN B JR & GAIL P  
1702 S LAKESHORE DR  
ROCKWALL, TX 75087

RESIDENT  
1722 RIDGE RD  
ROCKWALL, TX 75087

GREEN STEVEN T  
1724 RIDGE RD  
ROCKWALL, TX 75087



RESIDENT  
1726 RIDGE RD  
ROCKWALL, TX 75087

HATCHER JASON &  
NATASHA HATCHER  
1728 RIDGE RD  
ROCKWALL, TX 75087

HARMON MICHAEL JOHN  
1802 S LAKESHORE ROAD  
ROCKWALL, TX 75087

TOLMAN JENNIFER L  
1804 S LAKESHORE DR  
ROCKWALL, TX 75087

CHAPMAN CHRISTOPHER  
1902 S LAKESHORE DR  
ROCKWALL, TX 75087

RESIDENT  
1905 LAKESHORE DR  
ROCKWALL, TX 75087

NEVITT THERESA T  
201 BECKY LN  
ROCKWALL, TX 75087

LYNAS GERALD ETUX  
203 BECKY LN  
ROCKWALL, TX 75087

PODREBARAC MATTHEW & ABIGAIL LYNN  
205 LAKEVIEW DR  
ROCKWALL, TX 75087

SIMS CHRISTOPHER P AND KRISTEN  
206 LAKEVIEW DR  
ROCKWALL, TX 75087

BROYLES LYNN  
207 LAKEVIEW DR  
ROCKWALL, TX 75087

HAYNES PETER & JANNA  
208 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

KELLY HUGH LAWRENCE  
209 LAKEVIEW DR  
ROCKWALL, TX 75087

VOLESKY TAYLOR &  
ERIC MAURO  
210 LAKEVIEW DR  
ROCKWALL, TX 75087

TURNER BILLIE SUE  
211 LAKEVIEW DR  
ROCKWALL, TX 75087

LYON ROBERT L SR & PATRICIA R  
212 LAKEVIEW DR  
ROCKWALL, TX 75087

TAYLOR RONALD R & ELIZABETH R  
213 LAKEVIEW DR  
ROCKWALL, TX 75087

FENTON DONYELLE  
214 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

STOOKSBERRY CECIL R AND KIM  
215 LAKEVIEW DR  
ROCKWALL, TX 75087

ODEN ELRA C  
216 LAKEVIEW DR  
ROCKWALL, TX 75087

MCCRACKEN SUSAN M  
217 LAKEVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
218 LAKEVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
219 LAKEVIEW DR  
ROCKWALL, TX 75087

DEFAZIO RODERICK S & MARGARET R  
220 LAKEVIEW DR  
ROCKWALL, TX 75087

CARROLL ANGELA C & CHRIS S  
222 LAKEVIEW DR  
ROCKWALL, TX 75087

HULLUM RANDY LEE  
2795 COUNTY ROAD 3210  
LONE OAK, TX 75453

JAMES & MARY SYVRUD REVOCABLE TRUST  
JAMES P SYVRUD AND MARY J SYVRUD  
301 MCKINNEY ST  
FARMERSVILLE, TX 75442

SOLENA GROUP, LLC  
321 PRAIRIE VIEW RD  
ROCKWALL, TX 75087

HENDRICKS JAMES & BARBARA  
5903 VOLUNTEER PL  
ROCKWALL, TX 75032

HUDSON SFR PROPERTY HOLDINGS LLC  
C/O HUDSON HOMES MANAGEMENT LLC  
ATTN: HEATHER HAWKINS 2711 N HASKELL STE  
1800  
DALLAS, TX 75204

HALL BRANDON & ADRIENNE  
P. O. BOX 201  
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC  
PO BOX 1476  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-012: SUP for a Tennis Court (Pickleball Court)

Hold a public hearing to discuss and consider a request by Preston Harris of Harris Family Lake House, LLC for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2024-012: SUP for a Tennis Court (Pickleball Court)

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# Zoning & Specific Use Permit Input Form

Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-012

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Can there be a playground with the pickle ball courts? :)

Respondent Information

Please provide your information.

First Name \*

Abigail

Last Name \*

Podrebarac

Address \*

205 Lakeview Dr.

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

Other: \_\_\_\_\_

This content is neither created nor endorsed by Google.

Google Forms



Case No. Z2024-012: SUP for a Tennis Court (Pickleball Court)

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I am not opposed to the pickle ball court per se. The flood lights are invasive to my home. I am opposed to the flood lights.

Name: Leslie A. Noble

Address: 1613 Cape Hatteras Pl Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**From:** [Rachel Wells](#)  
**To:** [Planning](#)  
**Cc:** [Rachel M Wells](#)  
**Subject:** Z2024-012: SUP for a Tennis (Pickleball) Court Resident Concern  
**Date:** Wednesday, March 27, 2024 9:02:52 PM

---

Dear Mr. Miller and Mr. Lee,

My name is Rachel Wells and I'm a resident of Rockwall, residing in the property I own at 1502 Ridge Rd (at Becky Lane).

I'm writing to express and document my opposition to Z2024-012: SUP for a Tennis (Pickleball) Court.

My opposition has several components:

A) TRAFFIC: Too much of it currently + Lack of any traffic planning or options for Ridge Rd over-development

Anyone who daily utilizes Ridge Rd to access I-30 in this explosively-growing community can and will attest to the gigantic concerns we all have for lack of wide-scale traffic and emergency route planning. Just sit at any coffee shop, local restaurant, or in line at Target, every stranger to each other is complaining about it, in every mundane interaction, the traffic there is a top topic for all Rockwallians. Ridge Rd is the main artery through this once-smaller community and as such is the critical for emergencies and general commuting through the city and around the neighborhoods. It is also critical as a cut-through for emergency services. The traffic in the past several months as any casual commuter can objectively witness, is beyond congested at the I-30 interchange light- often backed up near to Yellowjacket and beyond. Putting yet another new development along the West side of the street at Yellowjacket Lane is an abject disregard for the current neighborhood's residents who already felt unheard due to the timing of the meetings (at the Christmas holidays) which changed zoning to enable an exceptionally tall officer tower development on the East side of the street.

B) IRRIGATION/FLOODING/DRAINAGE

As anyone who drives this section of Ridge Rd after a rain can also attest, there is dramatic flooding in this area already with so much development, concrete and building interfering with natural run-off. This is yet again, something not \*currently\* addressed with the current level of building and unfettered, unplanned "development" — it needs addressing for the current situation. Drive it right after a rain, and tell us that there is adequate drainage.

C) OTHER VACANT LOCATIONS

There are plenty of giant parcels of land available on the edges of town - not in the middle of the main artery - that could accommodate a pickle ball/tennis-specific facility. There does not need to be one smack dab in the

middle of an established neighborhood.

#### D) NOISE

What was a peaceful, "neighborhood" has now more and more backed up traffic, cars stop-going and trying to enter-exit going into a lot for the "courts". This is an established neighborhood. Homes here over 45 years in this area. Why would this be needed suddenly? To address population growth and the massive outcry for pickleball?

E) WHY PICKLEBALL/TENNIS? Who is asking for this from the community? If we think we \*need\* a "athletic or recreation center" - why cater only to those who play these sports? Some might like basketball, some might like yoga. Where is that for the "community" members who are giving up the sense of established neighborhood to a giant office tower on the East side of Ridge Rd, and then a pickle ball-specific complex on the West side? Also, would the "city" own the courts? No? If this is yet another private developer from out of state trying to re-develop my Rockwall community smack dab next to my home, and the long-time homes of my neighbors, many of them elderly because they have been here for decades, no.

In general, why oh why do we need this? Tax revenue? I get it, tax revenue and business development is good for the county. It only works when the development benefits the majority of the community and we are not turning Rockwall into a place with no "there" there. Just unplanned, unfettered development for the latest high bidder. There are plenty of places to develop into a court like this. Who on earth thinks more traffic in and out of Ridge Rd right at that area would be a good idea? Not a single soul who actually lives or drives it daily.

Thank you for considering and documenting my feedback into the record on this matter. Please register me, OPPOSED.

Sincerely,  
Rachel Wells  
1502 Ridge Rd  
Rockwall, TX 75087

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

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# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-012: SUP for a Tennis Court (Pickleball Court)

Hold a public hearing to discuss and consider a request by Preston Harris of Harris Family Lake House, LLC for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and take any action necessary.

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2024-012: SUP for a Tennis Court (Pickleball Court)

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Traffic will increase.  
It will pull people into the neighborhood who do not live here.

Name: RON TAYLOR  
Address: 213 LAKEVIEW DR.

*Ron Taylor*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We are opposed <sup>only</sup> to the lightening surrounding the courts as they can be seen by

Name: many homes owners and are intrusive

Address: WRIGHT - 1605 SEASCAPE CT.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Several neighbors have complained that

CITY OF ROCKWALL • PLANNING AND ZONING DEPARTMENT • 385 S. GOLIAD STREET • ROCKWALL, TEXAS 75087 • P: (972) 771-7745 • E: PLANNING@ROCKWALL.COM

The light shines into their bedrooms.

March 14, 2024

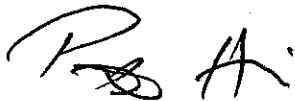
Preston Harris  
1722 Ridge Rd  
Rockwall, TX 75087

To Whom It May Concern:

I hope this letter finds you all well. Harris Family Lake House and it's majority owner Preston Harris are submitting for a Special Use Permit pertaining to a sport court that has been built on the family property. We regret we are submitting for the application post construction. Unfortunately when doing an internet search for if we needed a permit for a pickleball court, a sport court, or basketball court we failed to find any relevant information stating we needed one. Also, after discussing with the court's builder, we were also advised by them that a permit was not needed. We did take their advice and concluded that a permit was not needed.

We are here to rectify that situation today after being notified in early March that our conclusion was incorrect. Please take into consideration that avoiding the permitting process was never our intent.

Thank you again for your consideration on this matter,

A handwritten signature in black ink, appearing to read 'P. Harris', with a stylized flourish at the end.

Preston Harris







CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *PRIVATE TENNIS COURT* ON A 2.522-ACRE PARCEL OF LAND IDENTIFIED AS LOT 4, BLOCK C, THE ESTATES OF COAST ROYALE #1 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBITS 'A' AND 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Preston Harris of Harris Family Lake House, LLC for the approval of a *Specific Use Permit (SUP)* for *Private Tennis Courts (Pickleball Courts)* on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and more fully described and depicted in *Exhibits 'A' and 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Private Tennis Court* in a Single Family 10 (SF-10) District as stipulated by, Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:



## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Private Tennis* court on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The *Private Tennis Court (Pickleball Court)* shall maintain conformance to *Exhibits 'A' and 'B'* of this ordinance.
- (2) All exterior lights placed or erected on the *Private Tennis Court (Pickleball Court)* shall be directed down. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.
- (3) The applicant shall have 90-days to obtain a building permit for the *Private Tennis Court (Pickleball Court)*.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the property owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> DAY OF MAY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

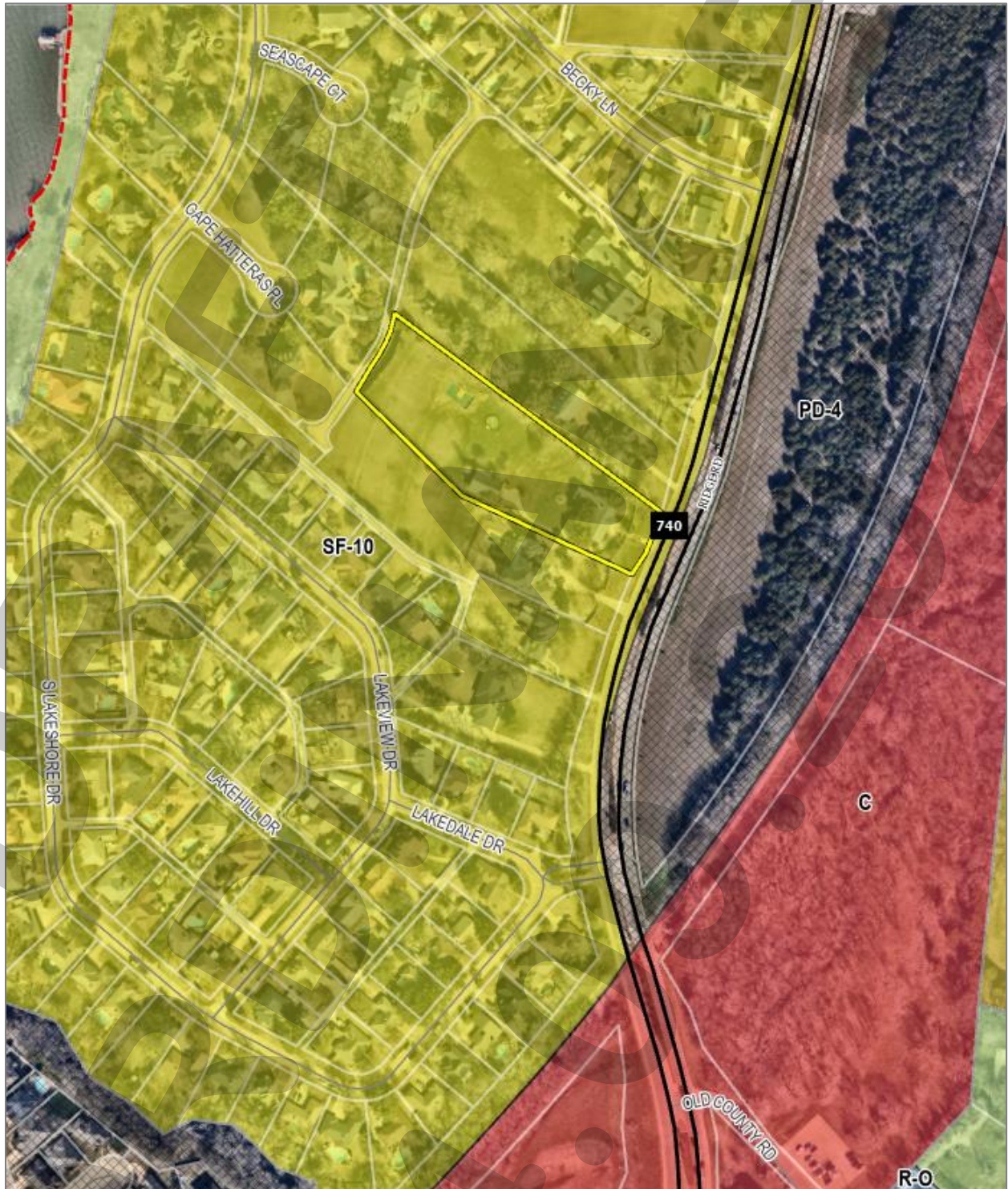
\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2024

2<sup>nd</sup> Reading: May 6, 2024

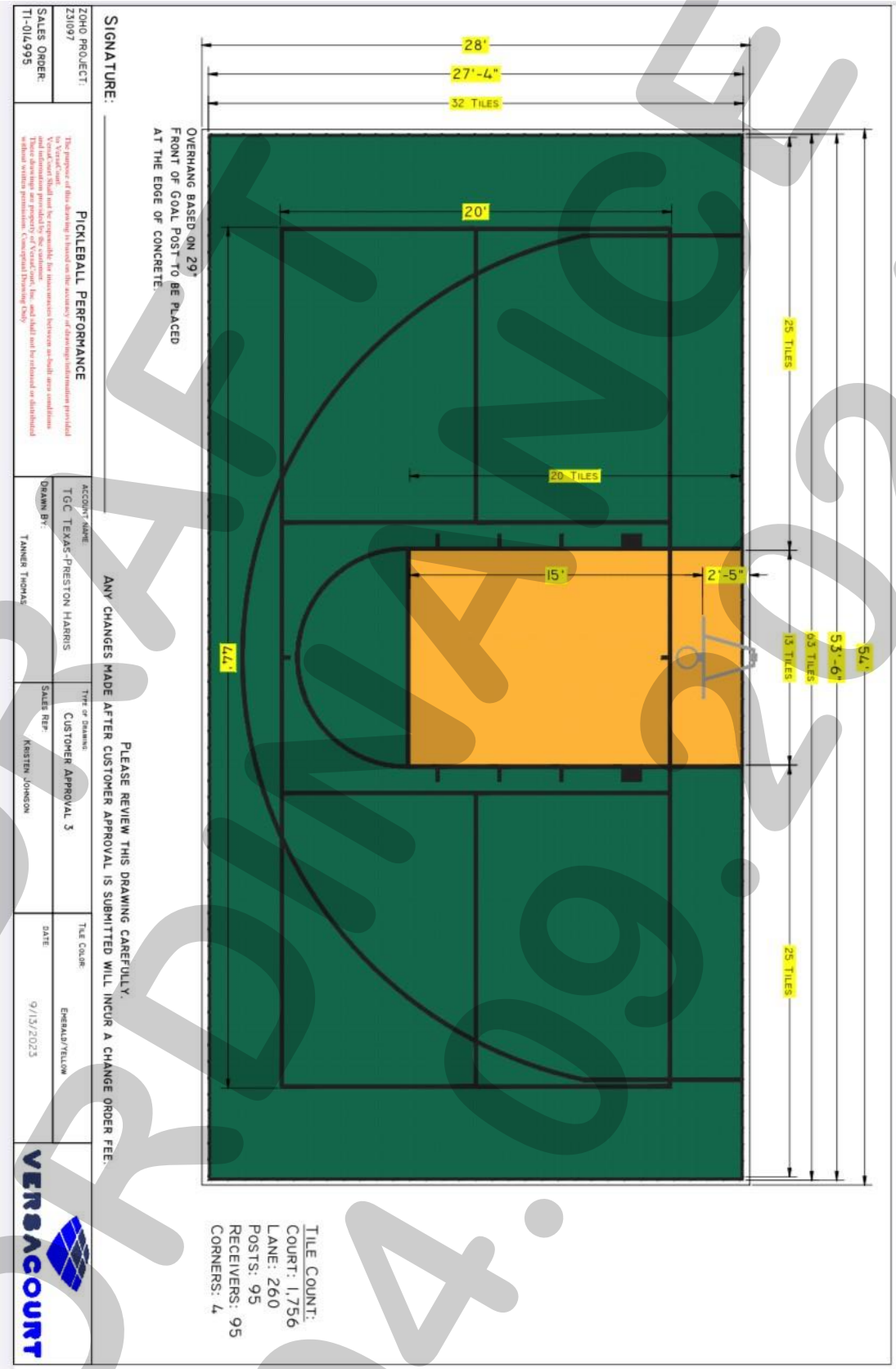
**Exhibit 'A'**  
Location Map

LEGAL DESCRIPTION. LOT 4, BLOCK C, THE ESTATES OF COAST ROYALE #1 ADDITION





**Exhibit 'B'**  
Pickleball Court Design





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission

**DATE:** April 9, 2024

**APPLICANT:** Paul Arce; *Projects & Constructions Araque*

**CASE NUMBER:** Z2024-013; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 340 Evans Road*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

### BACKGROUND

The subject property was originally platted as Lots 1180 & 1179 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. The subject property has been vacant since its annexation.

### PURPOSE

The applicant -- *Paul Arce* -- is requesting the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC)..

### ADJACENT LAND USES AND ACCESS

The subject property is located at 340 Evans Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 90.5-acre vacant tract of land (*which is part of a larger 140.5-acre tract of land identified as Tract 3 of the G. Wells Survey, Abstract No. 219*), which is zoned Planned Development District 101 (PD-101) for Single-Family 10 (SF-10) District land uses. Beyond that is Mims Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 48-6670-acre parcel of land (*i.e. Lot 3 of the W.H. Barnes Survey, Abstract No. 26*), which is zoned Commercial (C) District and belongs to the Rayburn Country Electric Cooperation.

South: Directly south of the subject property is Evans Road, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with modular homes, with some of the lots being developed with

single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Renee Drive, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is a 0.66-acre parcel of land (*i.e. 557 Renee Drive*) developed with a modular home and zoned Planned Development District 75 (PD-75).

West: Directly west of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is a 66.083-acre tract of land (*i.e. Tract 2 of the G. Wells Survey, Abstract No. 219*), which consists of Rockwall Lake and is zoned Planned Development District 75 (PD-75).

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Evans Road and Russell & Wayne Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Evans Road, Wayne Drive & Russell Drive	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes face the towards Evans Road, Wayne or Russell Drive.	The front elevation of the home will face onto Evans Road.
Year Built	1970-2003	N/A
Building SF on Property	970 SF – 2,558 SF	3,306 SF
Building Architecture	Majority Modular Homes and Two (2) Single-Family Homes	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot setback.	X>5-Feet, X= 5-Feet
Rear	The rear yard setbacks appear to conform to the ten (10) feet rear yard setback.	17-Feet
Building Materials	Metal, Modular Paneling, Masonite Siding, and Brick.	Brick and Stone
Paint and Color	White, Gray, Red, Yellow, Blue, Green	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Asphalt Composite Shingle



Driveways/Garages	No Garages or Carports	The garage will be a front entry garage with the driveway facing onto Evans Road.
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According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i) in single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage approximately five (5) feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past, and that the single-family home directly west of the subject property appears to be in the same configuration as the proposed home. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Evans Road, Wayne Drive, and Russell Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

**NOTIFICATIONS**

On March 22, 2024, staff mailed 81 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant’s request.

**CONDITIONS OF APPROVAL**

If City Council chooses to approve of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘A’* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘B’* of the draft ordinance;
  - (c) The applicant shall be required to replat the subject property prior to the issuance of a Building Permit; and,
  - (d) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS 0 Evans Road Rockwall TX 75032

SUBDIVISION \_\_\_\_\_ LOT 1179 BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING Residential CURRENT USE \_\_\_\_\_

PROPOSED ZONING Residential PROPOSED USE \_\_\_\_\_

ACREAGE 0.2 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

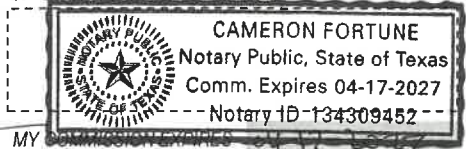
<input type="checkbox"/> OWNER	<u>Shirley Soto</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Projects &amp; Constructions</u>
CONTACT PERSON	_____	CONTACT PERSON	<u>PAUL ARCE Araque</u>
ADDRESS	<u>453 Lynn @ Dr</u>	ADDRESS	<u>18601 LBJ Fwy</u>
			<u>SUITE 250</u>
CITY, STATE & ZIP	<u>Rockwall TX 75032</u>	CITY, STATE & ZIP	<u>MESQUITE TX 75150</u>
PHONE	<u>(903) 985-1425</u>	PHONE	<u>(972) 365-6823</u>
E-MAIL	<u>shirleysoto@hotmail.com</u>	E-MAIL	<u>projectsaraque41@gmail.com</u>

**NOTARY VERIFICATION [REQUIRED]**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shirley Soto [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 219 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2024.  
OWNER'S SIGNATURE Shirley Soto



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Cameron Fortune





Z2024-013: Specific Use Permit (SUP) for Residential Infill 340 Evans Road

PD-101



EVANS RD

PD-75

WAYNE DR

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



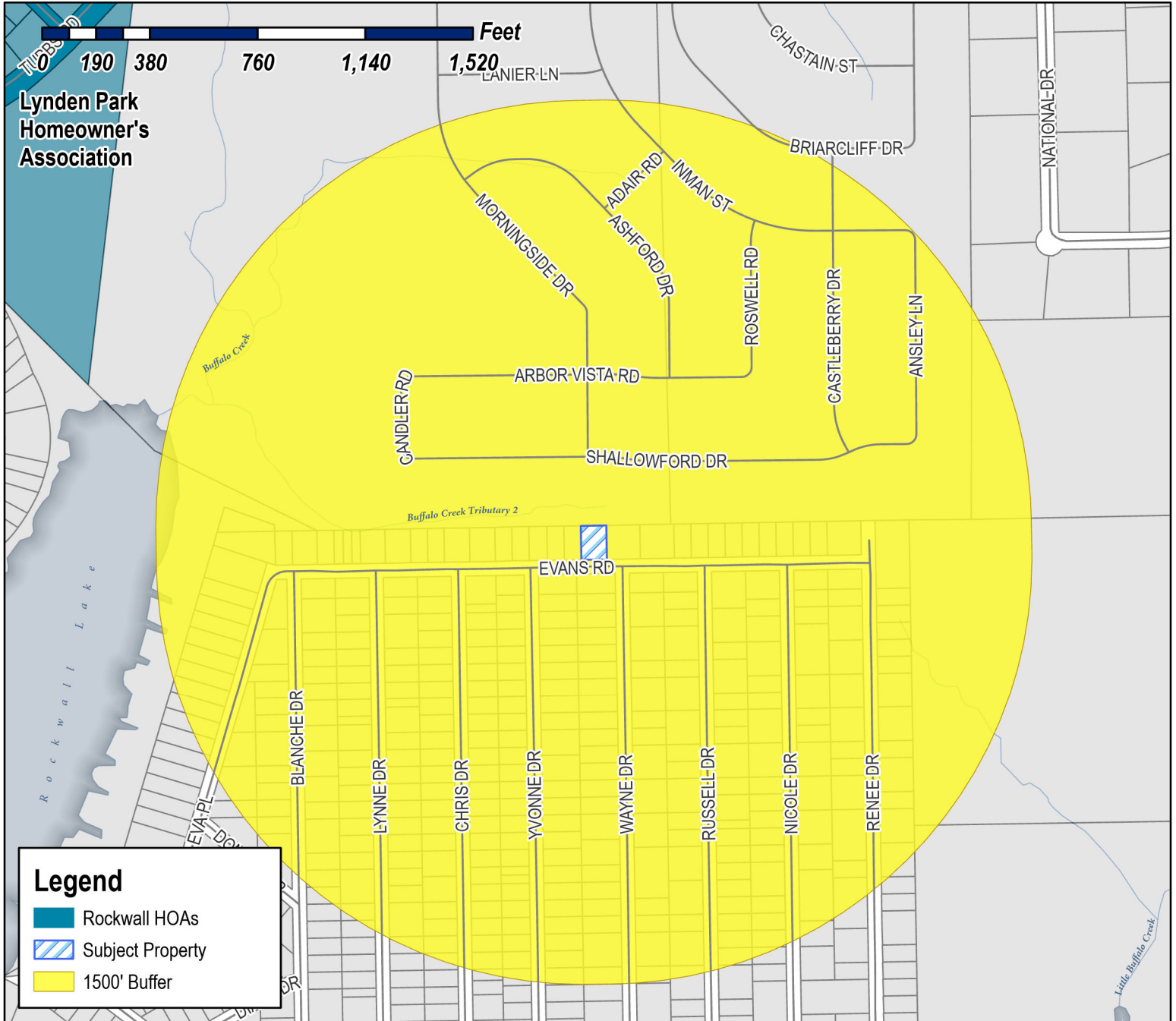




# City of Rockwall

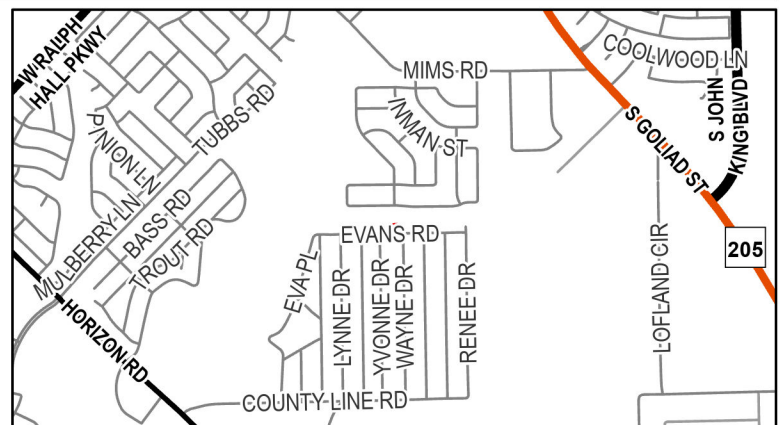
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**Case Number:** Z2024-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill at 340 Evans Road  
**Case Type:** Zoning  
**Zoning:** Planned Development 75 (PD-75)  
**Case Address:** 340 Evans Road

**Date Saved:** 3/15/2024  
 For Questions on this Case Call (972) 771-7745

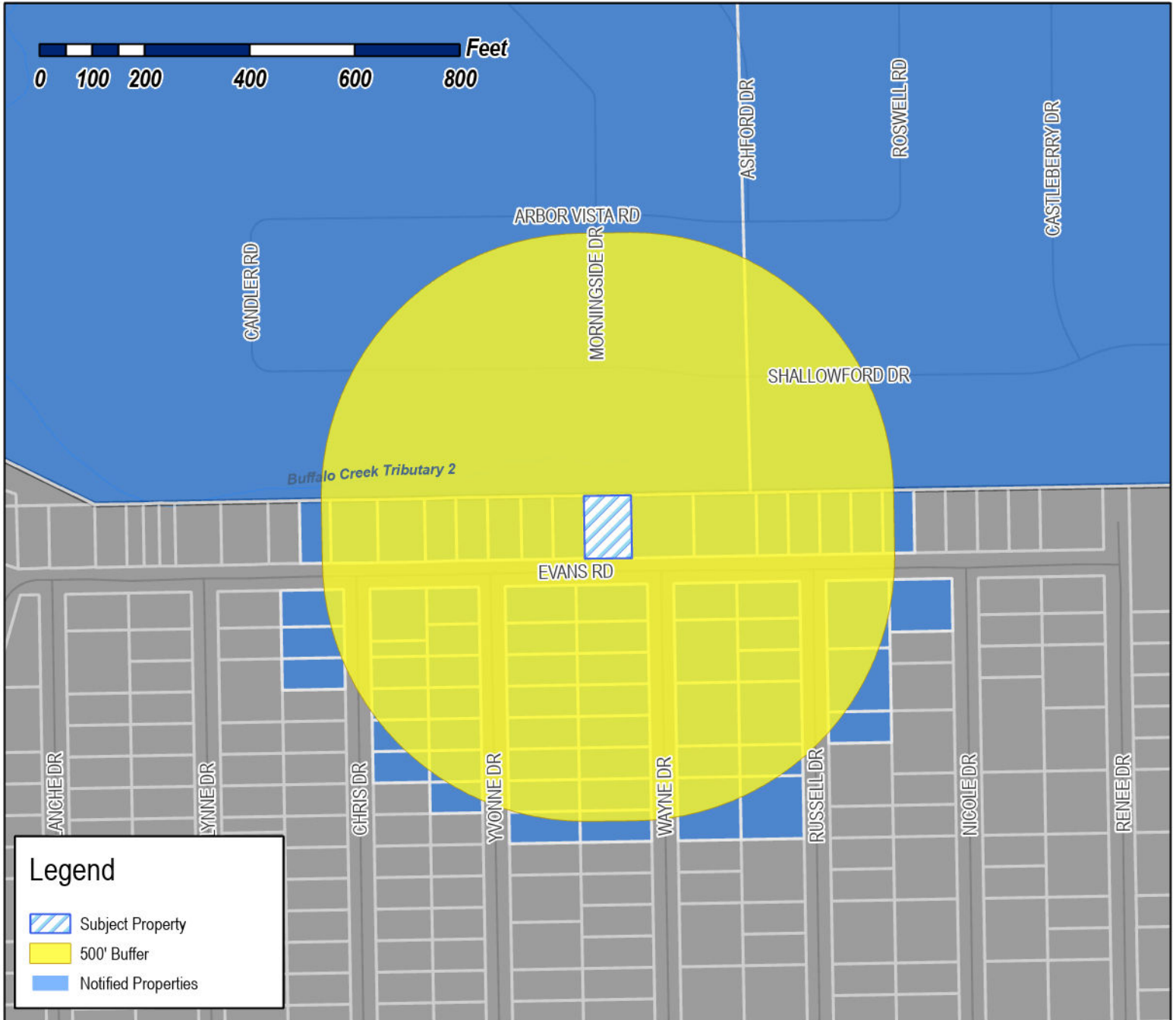




# City of Rockwall

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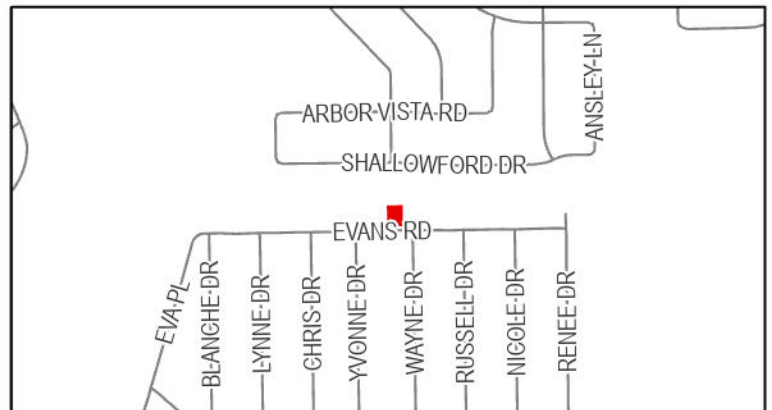
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**Case Number:** Z2024-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill at 340 Evans Road  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 340 Evans Road

**Date Saved:** 3/15/2024

For Questions on this Case Call: (972) 771-7746



SILVA BERTHA  
1041 E FM 552  
ROCKWALL, TX 75087

DEAN ANN W  
106 STANDING OAK DR  
GEORGETOWN, TX 78633

QUALICO DEVELOPMENTS (US), INC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
186 NICOLE DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
220 EVANS RD  
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA  
234 EVANS RD  
ROCKWALL, TX 75032

MEJIA RAMIRO  
244 EVANS RD  
ROCKWALL, TX 75032

NGO HA THAI AND MIA DINH  
2505 WESTBANK TRL  
GARLAND, TX 75042

RESIDENT  
266 EVANS RD  
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC  
2716 GREENHILL DRIVE  
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO  
VELAZQUEZ  
290 EVANS  
ROCKWALL, TX 75032

RESIDENT  
302 EVANS RD  
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

BALDERAS GREGORY  
310 EVANS RD  
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE  
QUINONEZ  
322 EVANS RD  
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I  
3248 BLACKLAND RD  
ROYSE CITY, TX 75189

RAMIRES RAUL  
358 EVANS RD  
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L  
376 EVANS RD  
ROCKWALL, TX 75032

GONZALEZ NORMA PATRICIA SOLIS  
388 EVANS RD  
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO  
397 CHRIS DR  
ROCKWALL, TX 75032

MENDOZA FIDEL & ALEJANDRINA  
400 EVANS RD  
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA  
400 EVANS RD  
ROCKWALL, TX 75032

GAMEZ PETRA K MARTINEZ  
406 EVANS  
ROCKWALL, TX 75032

RESIDENT  
412 EVANS RD  
ROCKWALL, TX 75032

RESIDENT  
418 EVANS RD  
ROCKWALL, TX 75032

BALLEZA REAL ESTATE LLC AND  
ANA QUEZADA  
4408 AIKEN TRL  
SACHSE, TX 75048

YANEZ SANDRA R TORRES  
441 LYNNE DRIVE  
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ  
461 YVONNE DR  
ROCKWALL, TX 75032

CRUZ MARIO  
461 YVONNE DR  
ROCKWALL, TX 75032



RESIDENT  
466 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
470 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
470 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
471 YVONNE DR  
ROCKWALL, TX 75032

SOTO DOMINGO  
471 WAYNE DR  
ROCKWALL, TX 75032

MORENO ORALIA SOLIS  
474 BASS ROAD  
ROCKWALL, TX 75032

MORENO LUIS NOE  
474 BASS ROAD  
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA  
479 CHRIS DR  
ROCKWALL, TX 75032

ALONSO ELEASAR &  
BENITO GAMEZ  
482 WAYNE DR  
ROCKWALL, TX 75032

GUEVARA MARIA  
482 YVONNE DRIVE  
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS  
MARTINEZ-AGUILAR  
485 YVONNE DR  
ROCKWALL, TX 75032

PAYNE MILDRED IRENE  
487 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
488 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
491 YVONNE DR  
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA  
491 CHRIS DR  
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND  
FANIA GARCIA  
494 RUSSELL LOT 1252  
ROCKWALL, TX 75032

ARROYO REYES  
499 RUSSELL DR  
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND  
JUDITH GAIL WOOD  
499 WAYNE DR  
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI  
500 YVONNE DR  
ROCKWALL, TX 75032

VELASQUEZ LORENA  
501 CHRIS DRIVE  
ROCKWALL, TX 75033

MARTINEZ PEDRO & MARIA CELIA  
506 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN  
509 YVONNE DR  
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA  
5112 WOLVERTON CT  
GARLAND, TX 75043

RESIDENT  
513 CHRIS DR  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA  
513 RUSSELL DR  
ROCKWALL, TX 75032

LEON VANESSA RANGEL  
514 YVONNE DR  
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA  
GALLEGOS  
516 CHRIS DR  
ROCKWALL, TX 75032

MARTINEZ DAVID  
516 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
518 RUSSELL DR  
ROCKWALL, TX 75032

JIMENEZ LEONARDO  
5201 KELSO LN  
GARLAND, TX 75043

RESIDENT  
521 YVONNE DR  
ROCKWALL, TX 75032

GANUS HUGH  
524 SESAME DR  
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA  
524 YVONNE DR  
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ  
525 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
528 CHRIS DR  
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO  
528 WAYNE DR  
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY  
530 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
531 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
534 YVONNE DR  
ROCKWALL, TX 75032

RETANA JUAN &  
YENY RUBIO  
535 CHRIS DR  
ROCKWALL, TX 75032

STRICKLAND TARA  
536 WAYNE DR  
ROCKWALL, TX 75032

OBRIEN ELLEN K  
537 RUSSELL DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
540 CHRIS DR  
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L  
541 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
544 YVONNE DR  
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH  
547 WAYNE DR  
ROCKWALL, TX 75032

CERVANTES HECTOR AND  
ERIKA MOLINA  
548 NICOLE DRIVE  
ROCKWALL, TX 75032

ARRIAGA GREGORIA  
548 WAYNE ST  
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS  
552 RUSSELL DR  
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA  
848 SMITH ACRES DR  
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC  
PO BOX 69  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-013: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single- Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

### Case No. Z2024-013: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

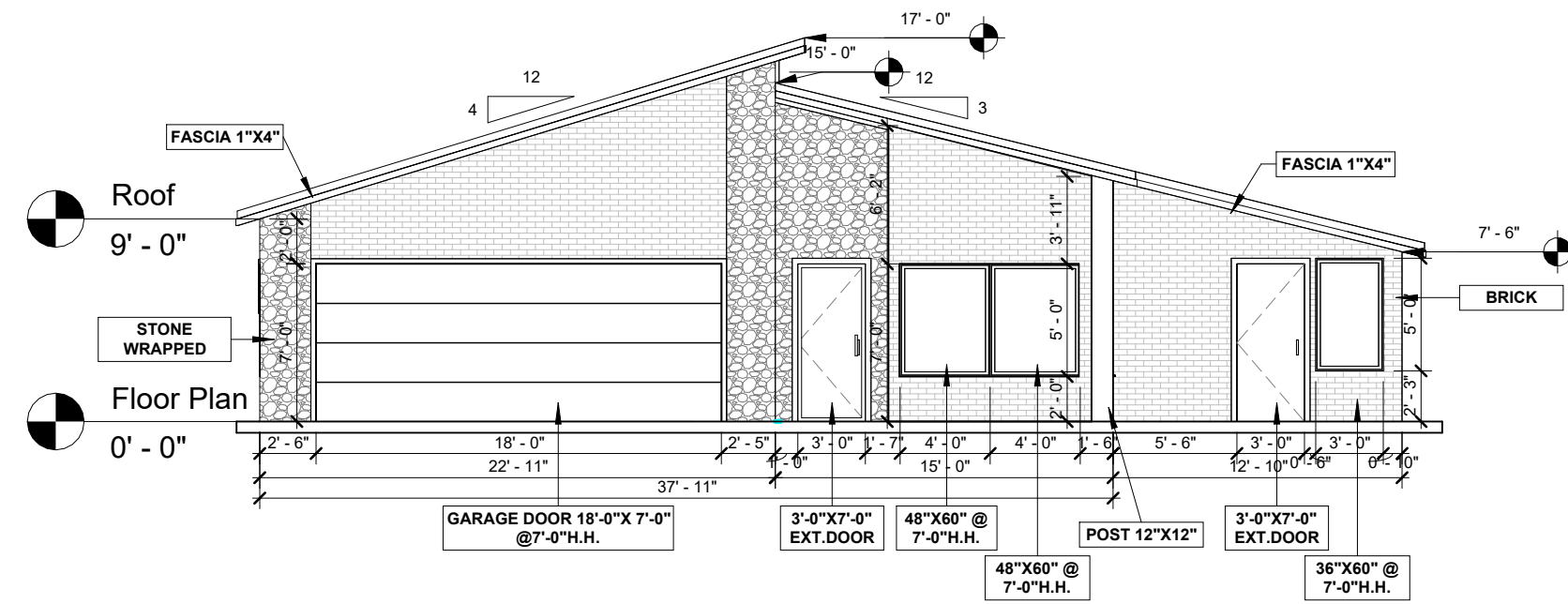
Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

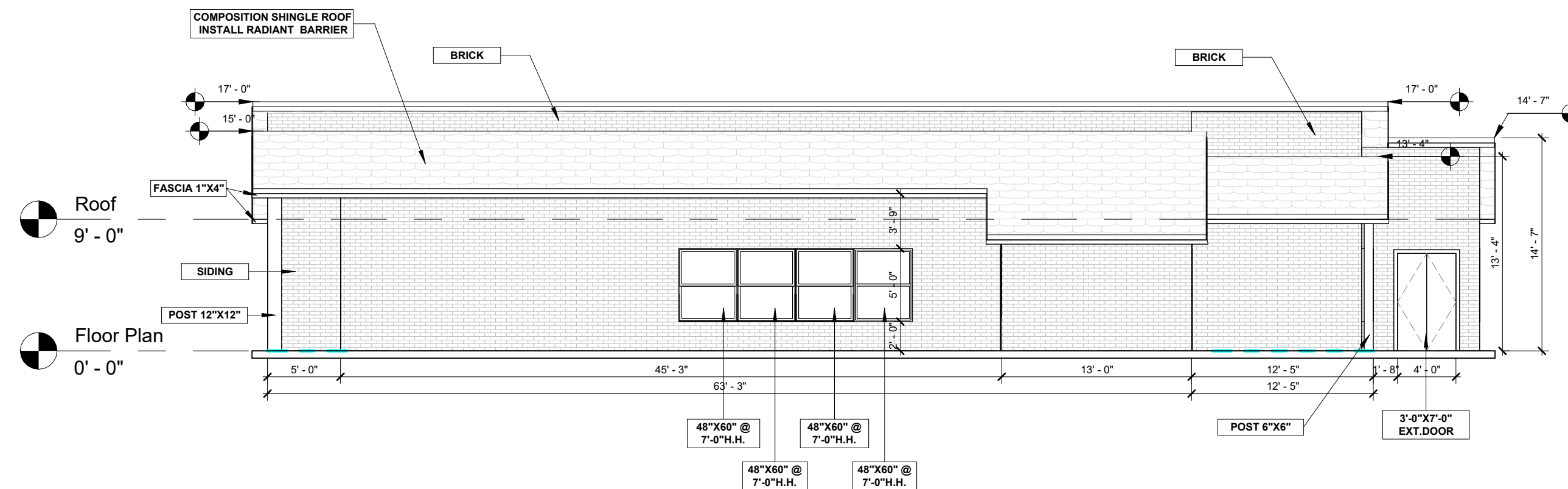






# 1 Front Elevation

1/8" = 1'-0"



# 2 Right Elevation

1/8" = 1'-0"



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

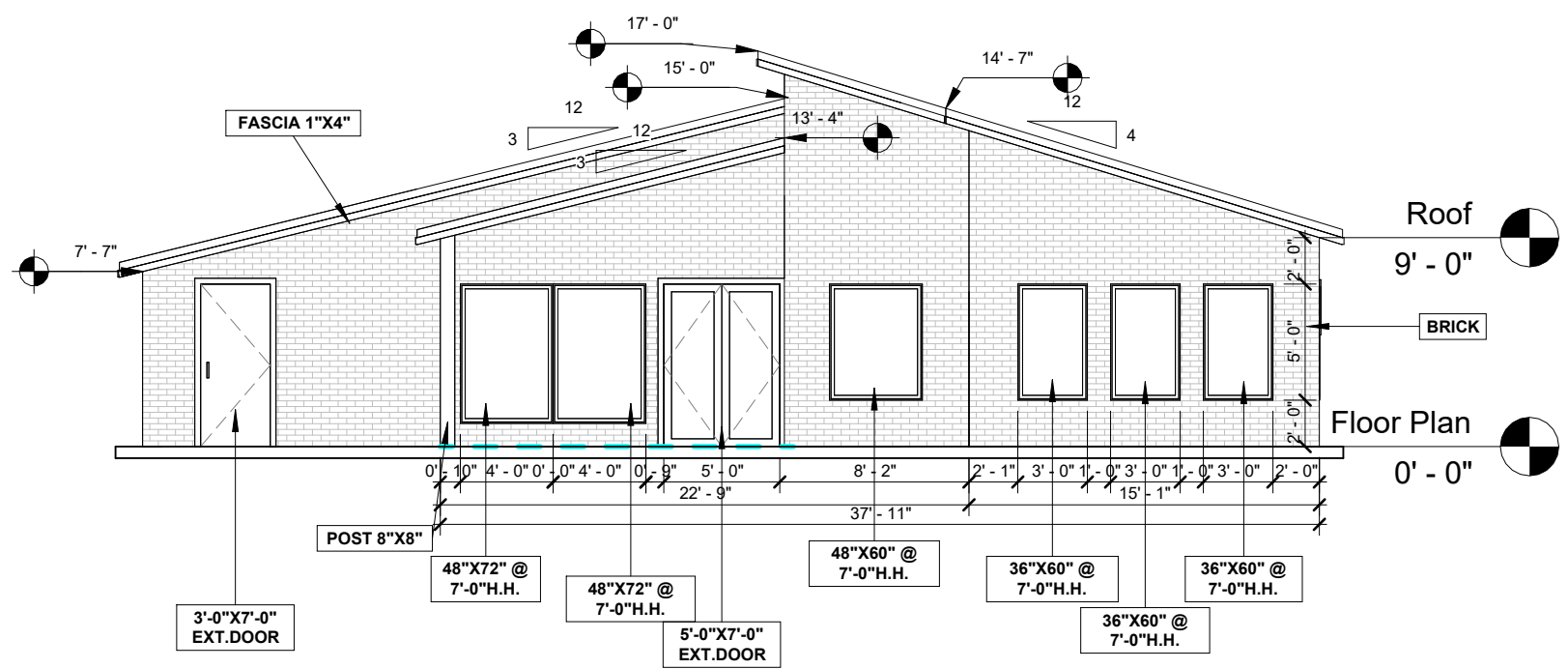
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

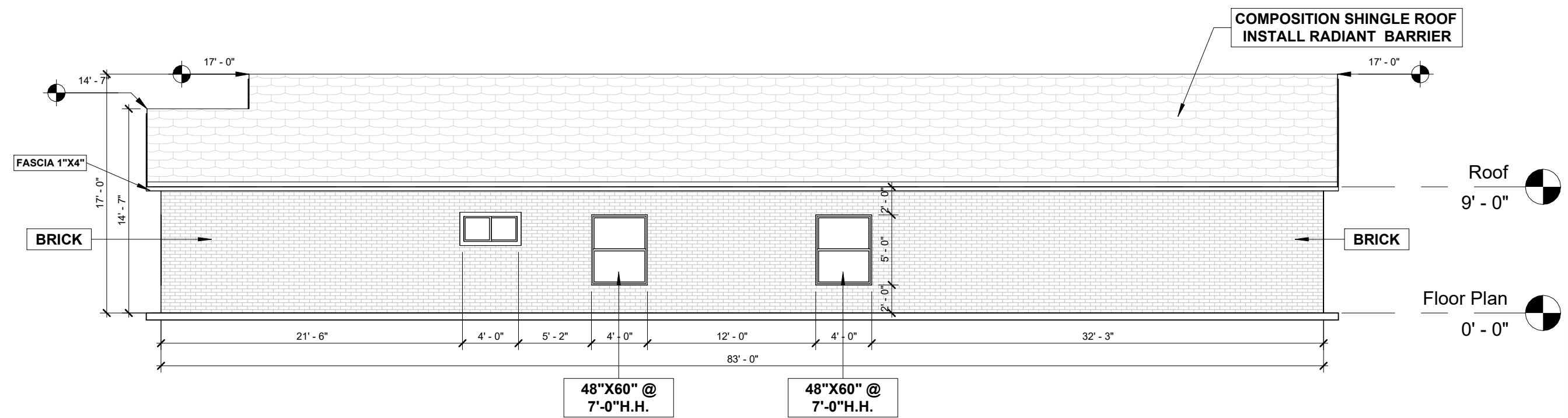
## ELEVATIONS

Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



# 1 Rear Elevation

1/8" = 1'-0"



# 2 Left Elevation

1/8" = 1'-0"



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**Project Name & Address**  
EVANS ROAD

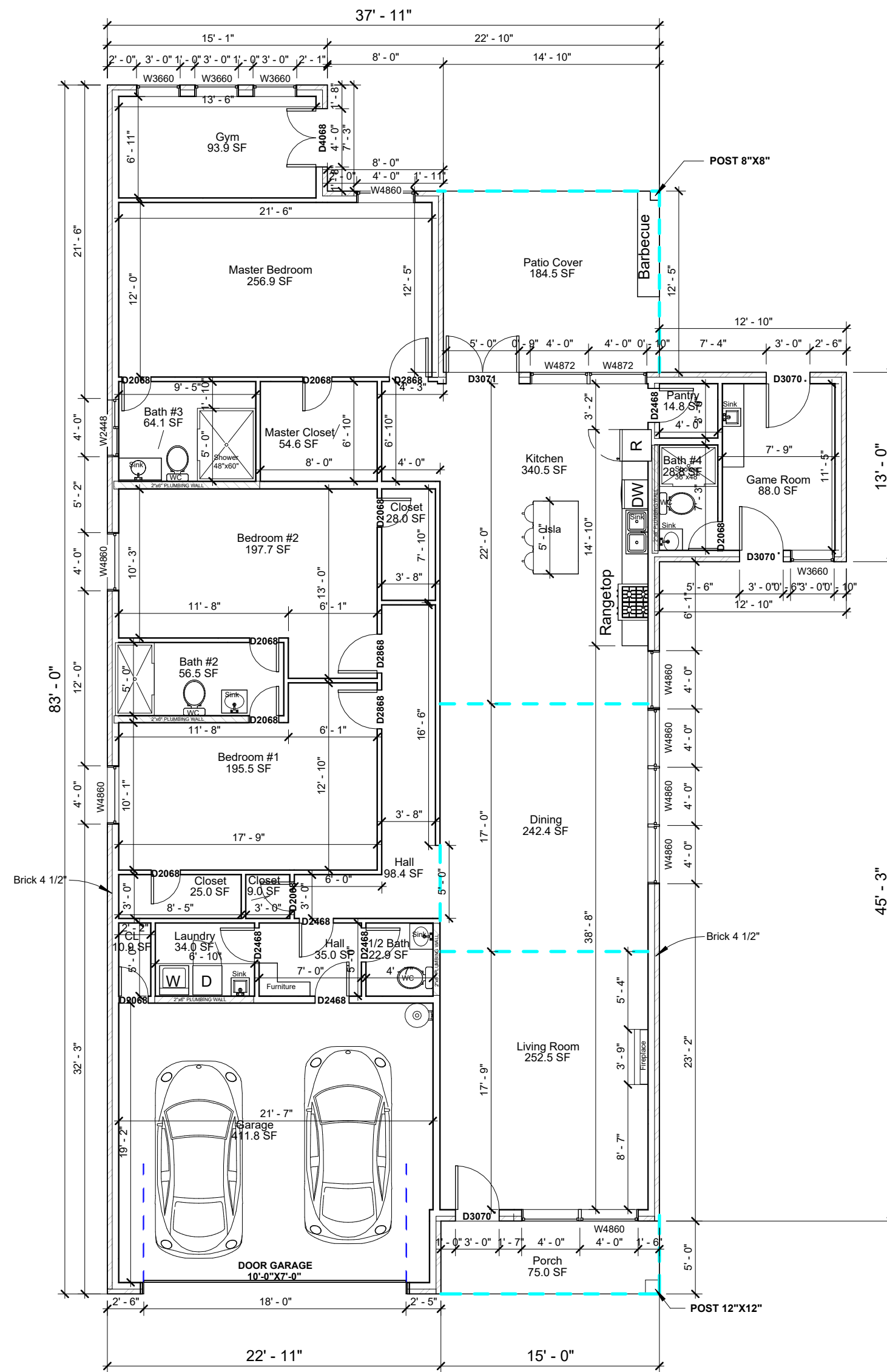
**Legal Description**  
LOT 1179

## ELEVATIONS

Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque

11.1



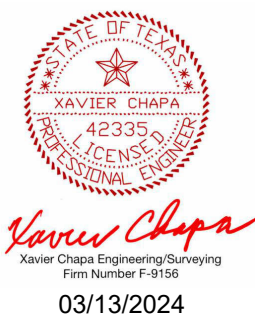


# 1 Floor Plan

1/8" = 1'-0"

Door Schedule				
Phase Created	Mark	Type	Width	Height
New Construction	D2068	24" x 80"	2' - 0"	6' - 8"
New Construction	D2468	28" x 80"	2' - 4"	6' - 8"
New Construction	D2868	32" x 80"	2' - 8"	6' - 8"
New Construction	D3070	36" x 84"	3' - 0"	7' - 0"
New Construction	D3071	60" x 84"	5' - 0"	7' - 0"
New Construction	D4068	48" x 80"	4' - 0"	6' - 8"
New Construction	DOOR GARAGE	108" x 84"	18' - 0"	7' - 0"
Grand total: 23				

Window Schedule				
Phase Created	Mark	Type	Height	Width
New Construction	W2448	0915 x 1220mm	2' - 0"	4' - 0"
New Construction	W3660	36"x60"	5' - 0"	3' - 0"
New Construction	W4860	48"x60"	5' - 0"	4' - 0"
New Construction	W4860	48"x60"	5' - 0"	4' - 0"
New Construction	W4868	48"x60"	5' - 0"	4' - 0"
New Construction	W4872	48"x72"	6' - 0"	4' - 0"
Grand total: 16				



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**Project Name & Address**  
EVANS ROAD

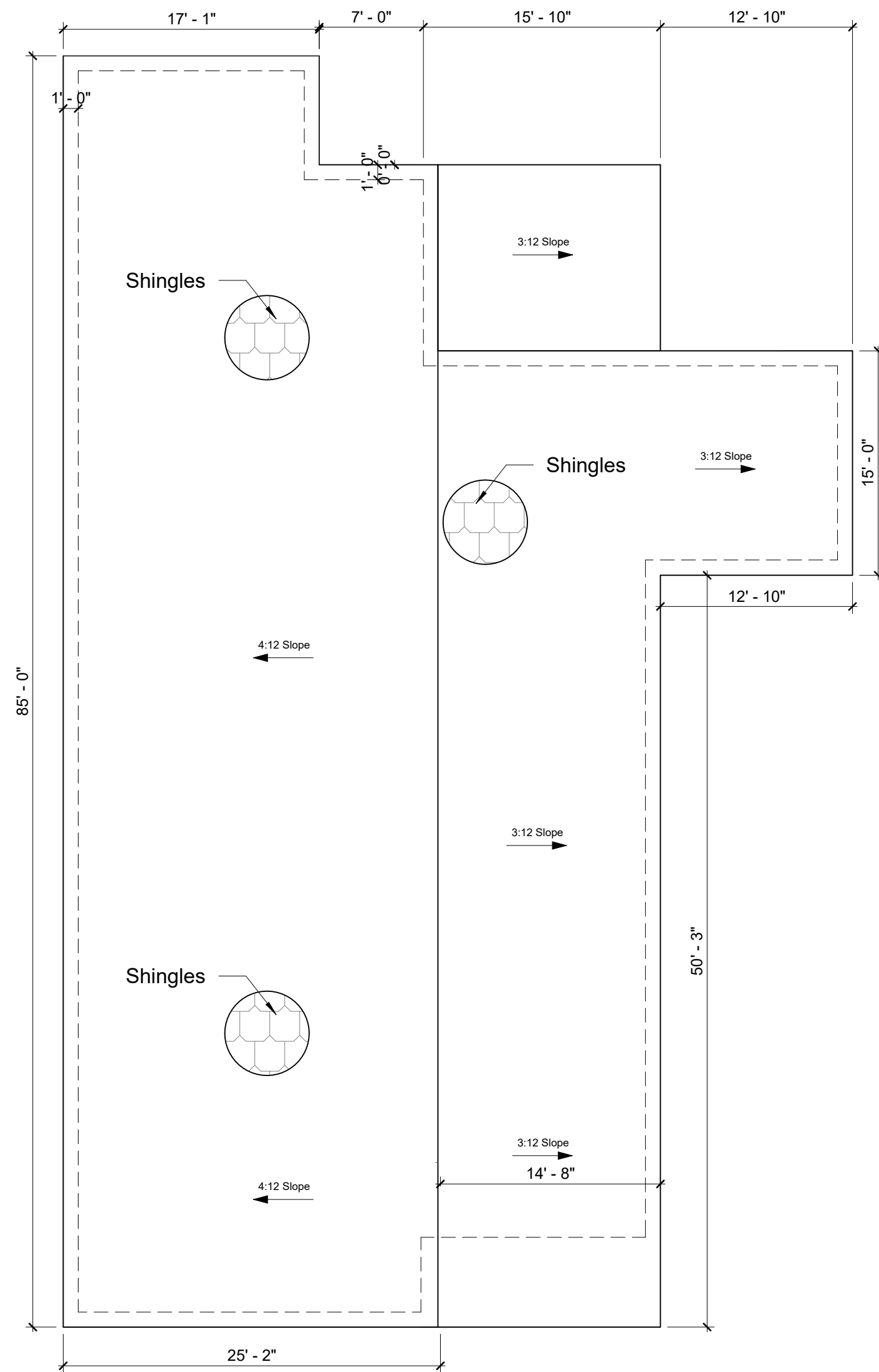
**Legal Description**  
LOT 1179

## FLOOR PLAN

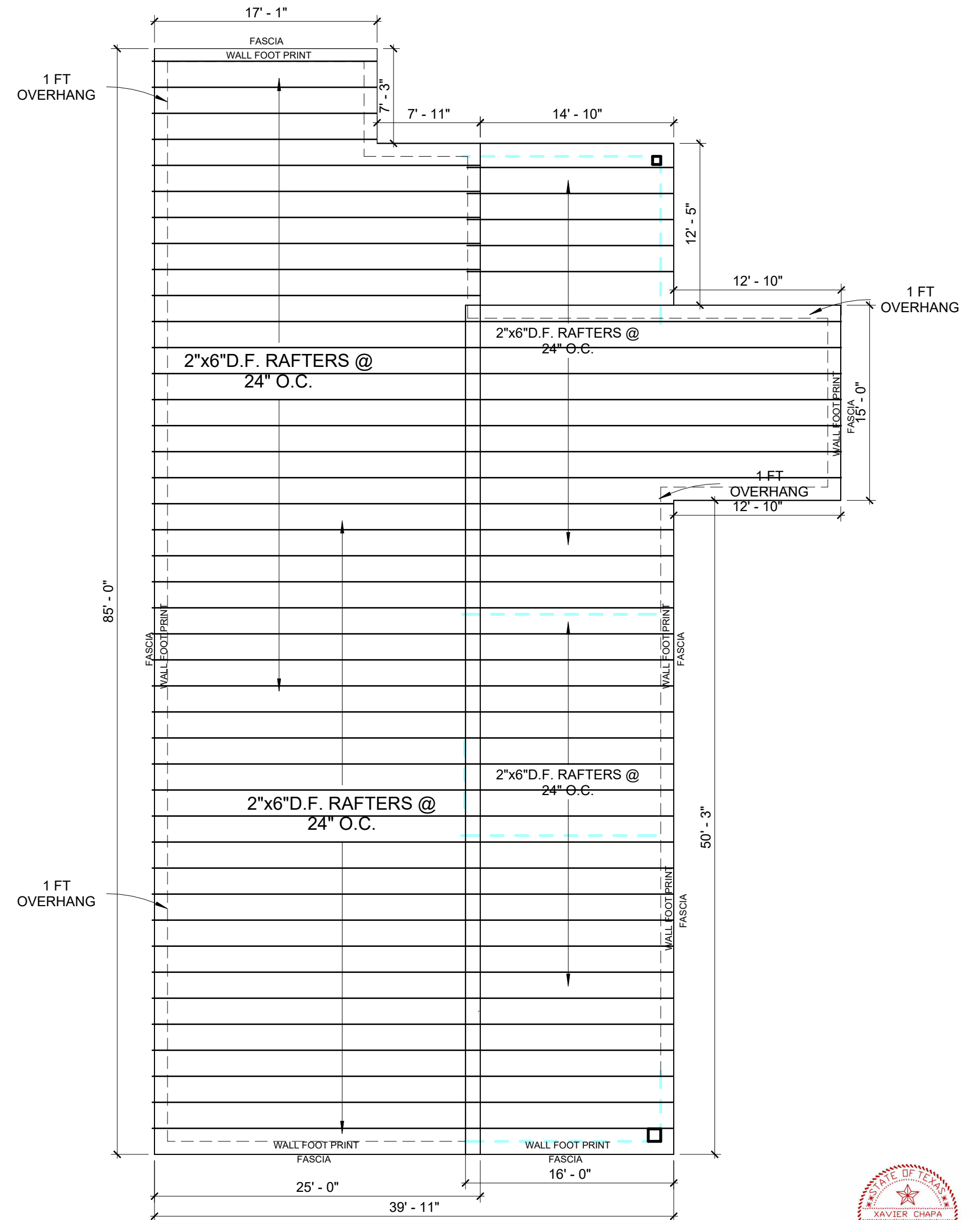
Project number:

Date: 02/17/2024 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**1 Roof**  
1/8" = 1'-0"



**2 Rafter Roof**  
1/8" = 1'-0"



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**Project Name & Address**  
EVANS ROAD  
**Legal Description**  
LOT 1179

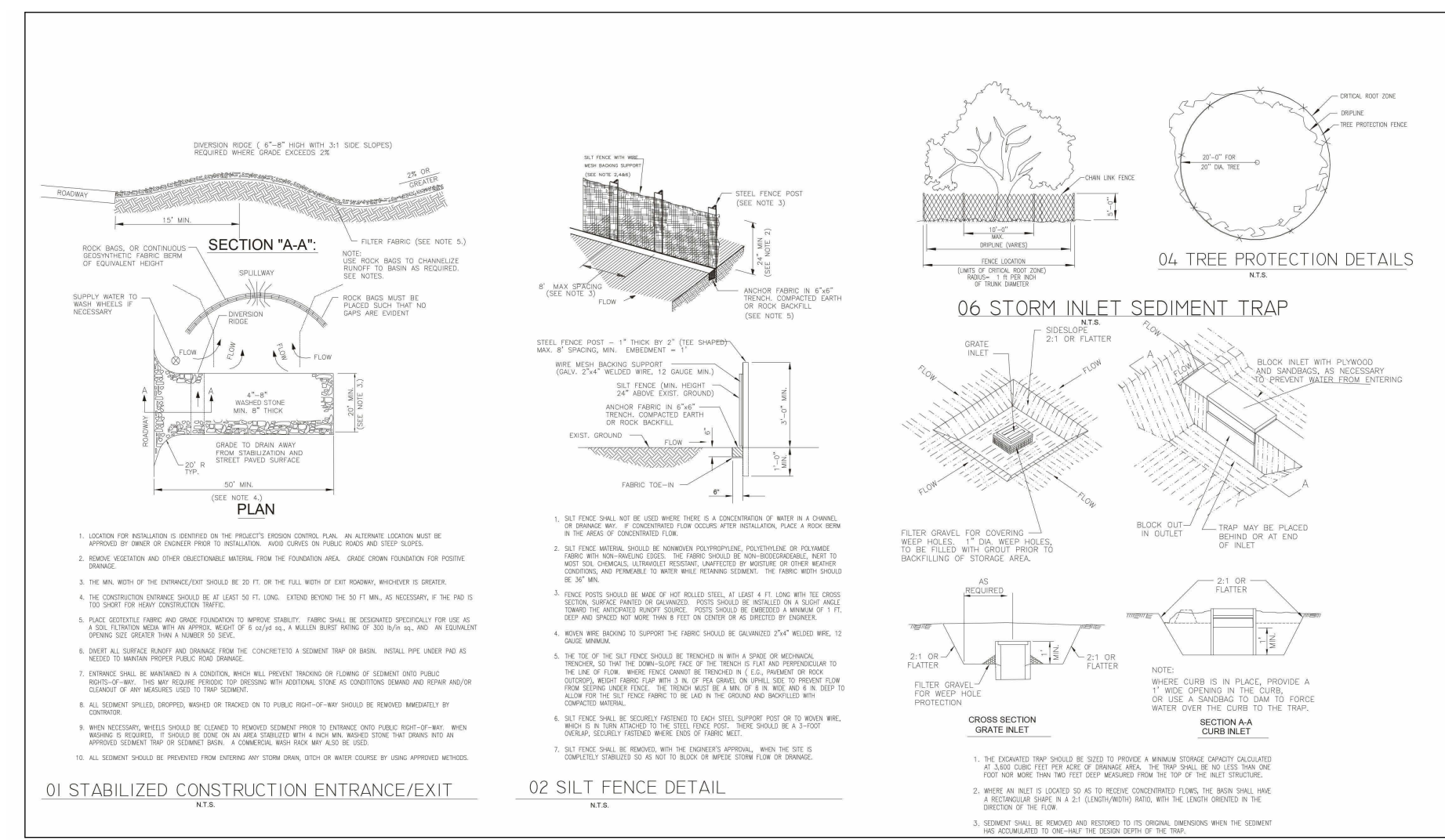
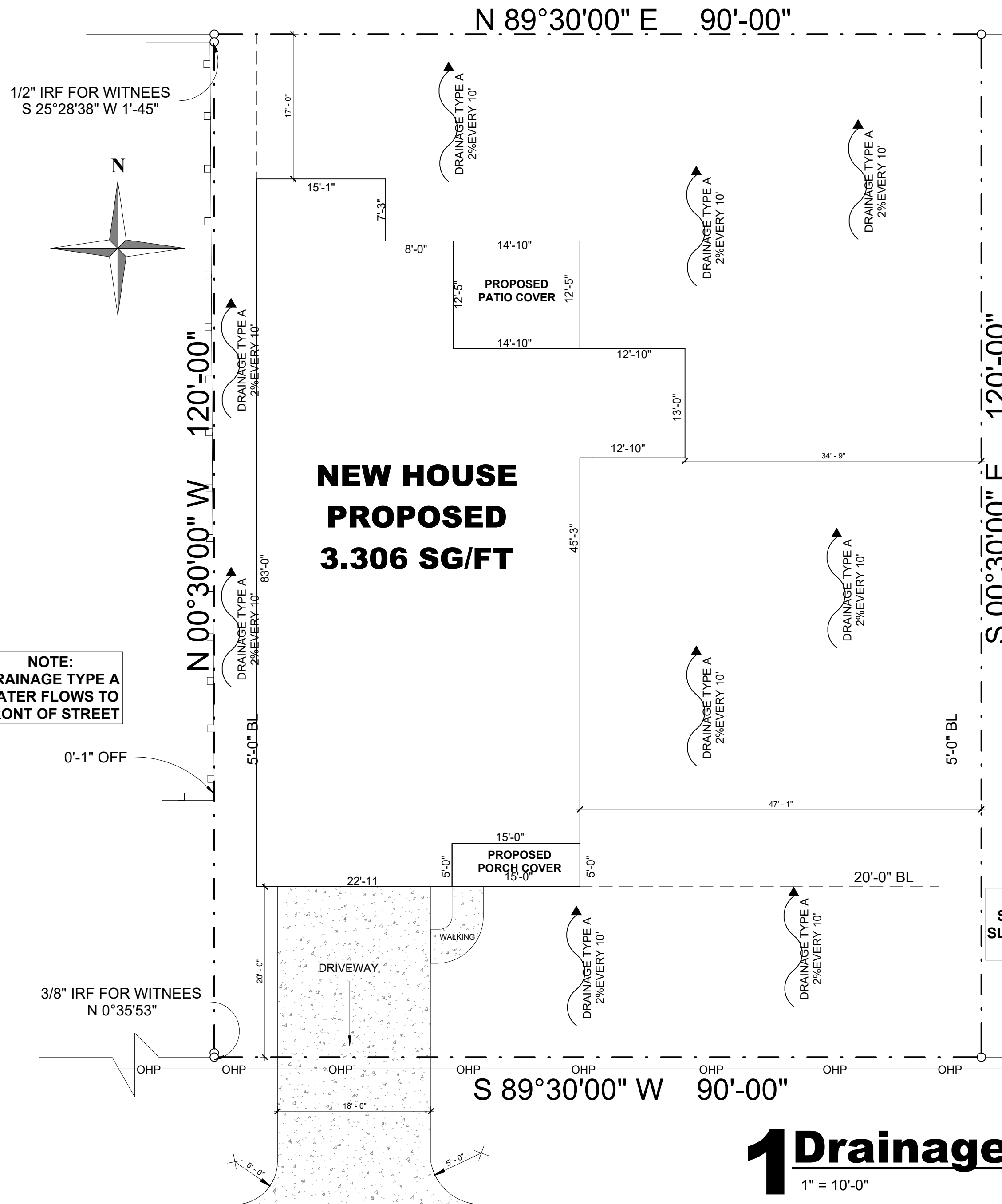
**ROOF**

Project number:

Date: 02/17/2024 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque

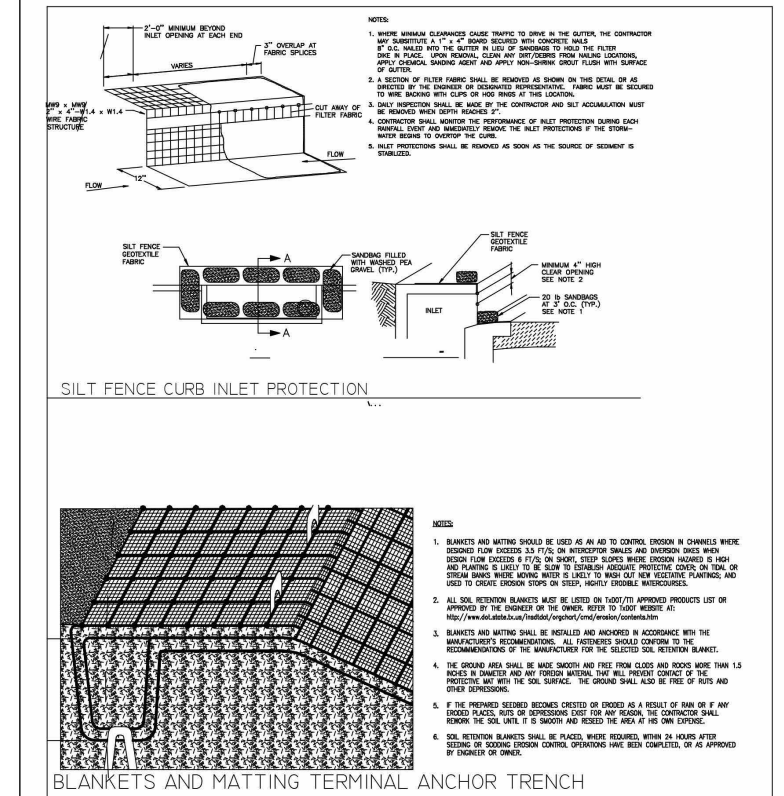
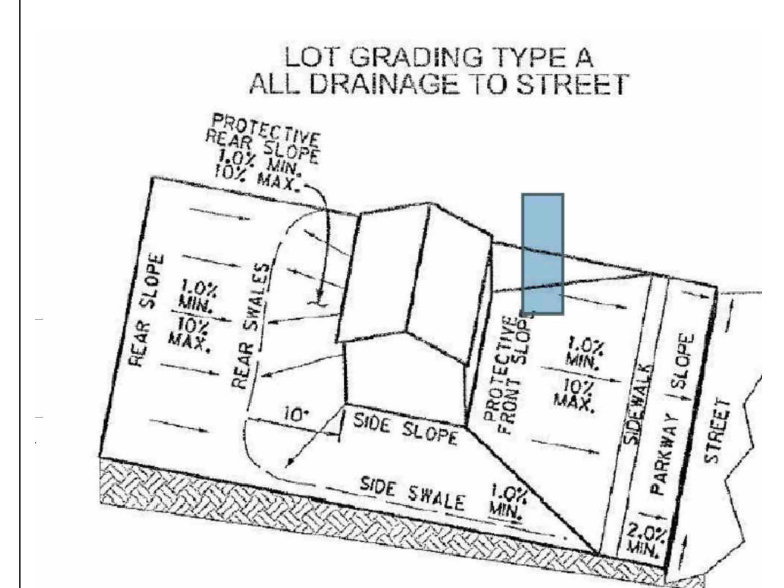




**PROPOSED LOT DRAINAGE**

Single family lots must be graded in conformance with the grading plan established for the subdivision where applicable, and should normally follow FHA lot grading patterns shown on the right. Types A and B are preferred but Type C (all drainage to rear) but a swale is required at the bottom of the yard to intercept runoff if the rear yard exceeds 2%. Runoff must be picked up in a street right-of-way or drainage easement after crossing more than two neighboring lots. Any exception to these conditions will be subject to special approval and inspections.

The lot must be graded to provide a finished floor elevation 12 above the surrounding land and crown of street, and drain away from the foundation as shown below. Final grading must provide a minimum of four (4) inches of top soil outside of the foundation and other hard surfaces, in order to sustain vegetation after construction is complete.



**NOTE:**  
DRAINAGE TYPE A  
WATER FLOWS TO  
FRONT OF STREET

**NOTE:**  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

# Drainage Plan

1" = 10'-0"

**EVANS ROAD**  
50' R.O.W.

**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

**DRAINAGE PLAN**

Project number:  
Date: 02/17/2024 Scale 1" = 10'-0"

Drawn by: Projects & Construction Araque



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# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
302 Evans Road	Modular Home	1985	1,104	N/A	Siding
310 Evans Road	Modular Home	1999	1,856	N/A	Siding
322 Evans Road	Single-Family Home	1995	1,324	90	Siding
340 Evans Road	Vacant	N/A	N/A	N/A	N/A
358 Evans Road	Single-Family Home	1975	1,152	1350	Brick and Siding
376 Evans Road	Modular Home	1998	2,384	N/A	Siding
388 Evans Road	Modular Home	1980	1,391	90	Siding
400 Evans Road	Modular Home	1974	1,148	168	Siding
552 Russell Drive	Modular Home	2003	1,560	144	Siding
547 Wayne Drive	Modular Home	1998	1,444	400	Siding
548 Wayne Drive	Modular Home	1984	2,558	192	Siding
541 Yvonne Drive	Modular Home	2003	1,276	168	Siding
544 Yvonne Drive	Modular Home	1970	940	240	Siding
AVERAGES:		1989	1,511	316	



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

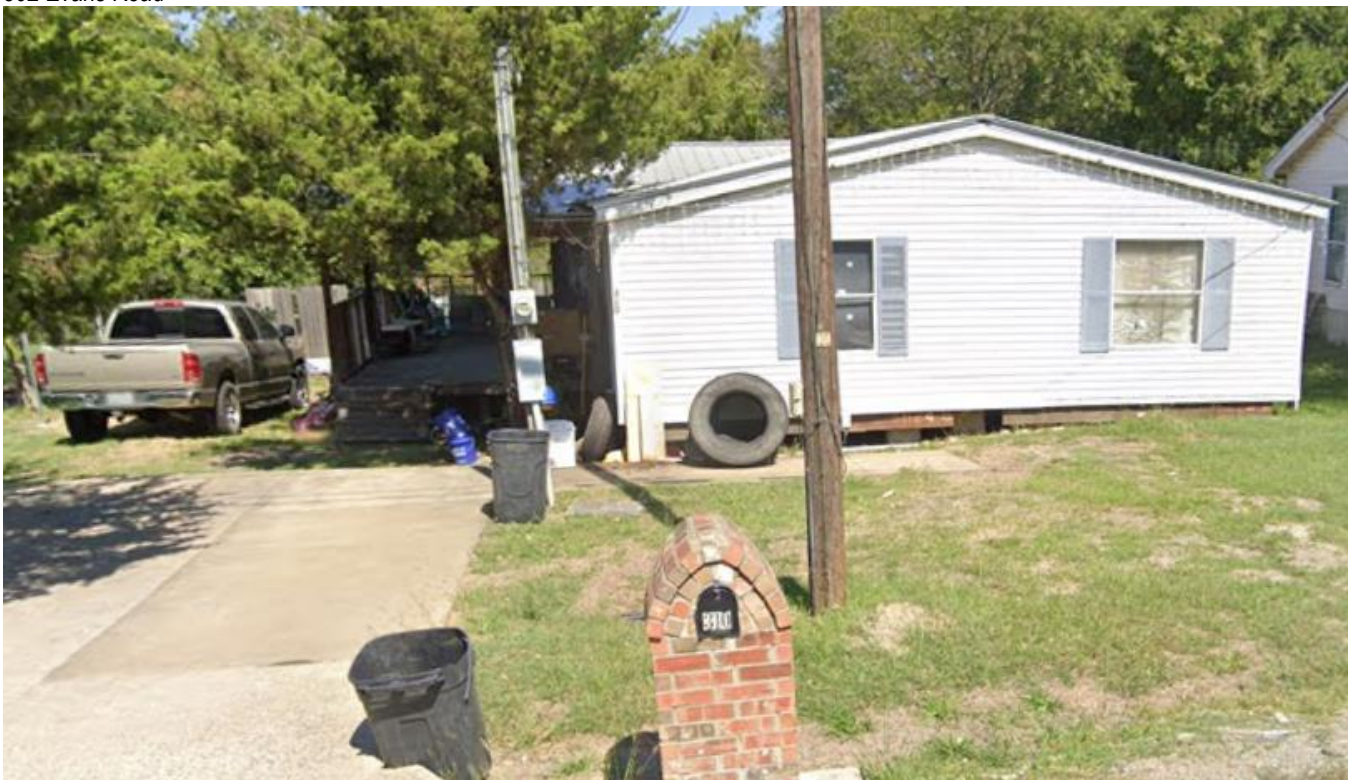
**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



302 Evans Road



310 Evans Road





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



322 Evans Road



340 Evans Road





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



358 Evans Road



376 Evans Road





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



388 Evans Road



400 Evans Road





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

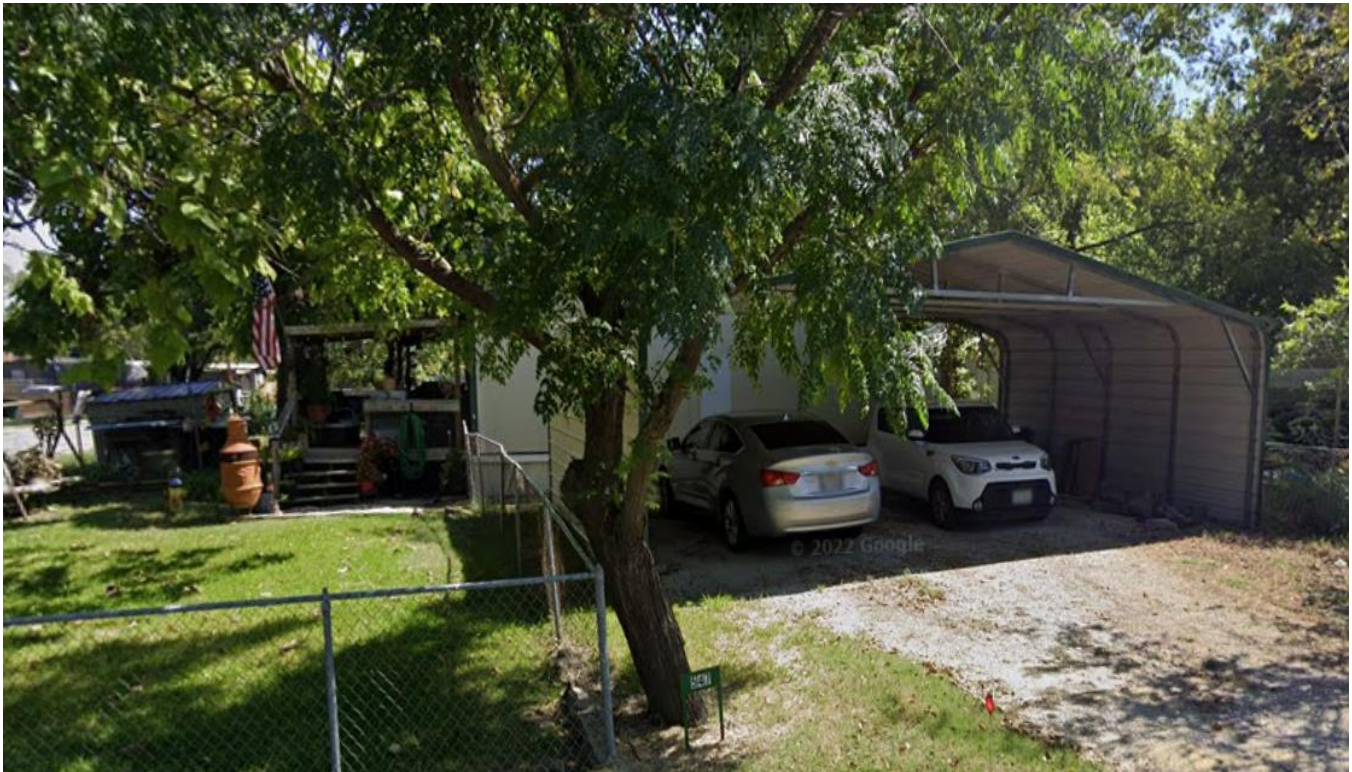
**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



552 Russell Drive



547 Wayne Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



548 Wayne Drive



541 Yvonne Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



544 Yvonne Drive



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1180 AND ALL OF LOT 1179 OF THE LAKE ROCKWALL ESTATES PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Paul Arce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 340 Evans Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in



Planned Development District 75 (PD-75) [Ordinance No. 16-01] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) The applicant shall be required to replat the subject property prior to the issuance of a Building Permit.
- 4) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> OF MAY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2024

2<sup>nd</sup> Reading: May 6, 2024



**Exhibit 'A':**

**Location Map and Residential Plot Plan**

Address: 340 Evans Road

Legal Description: Portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates Phase 2 Addition

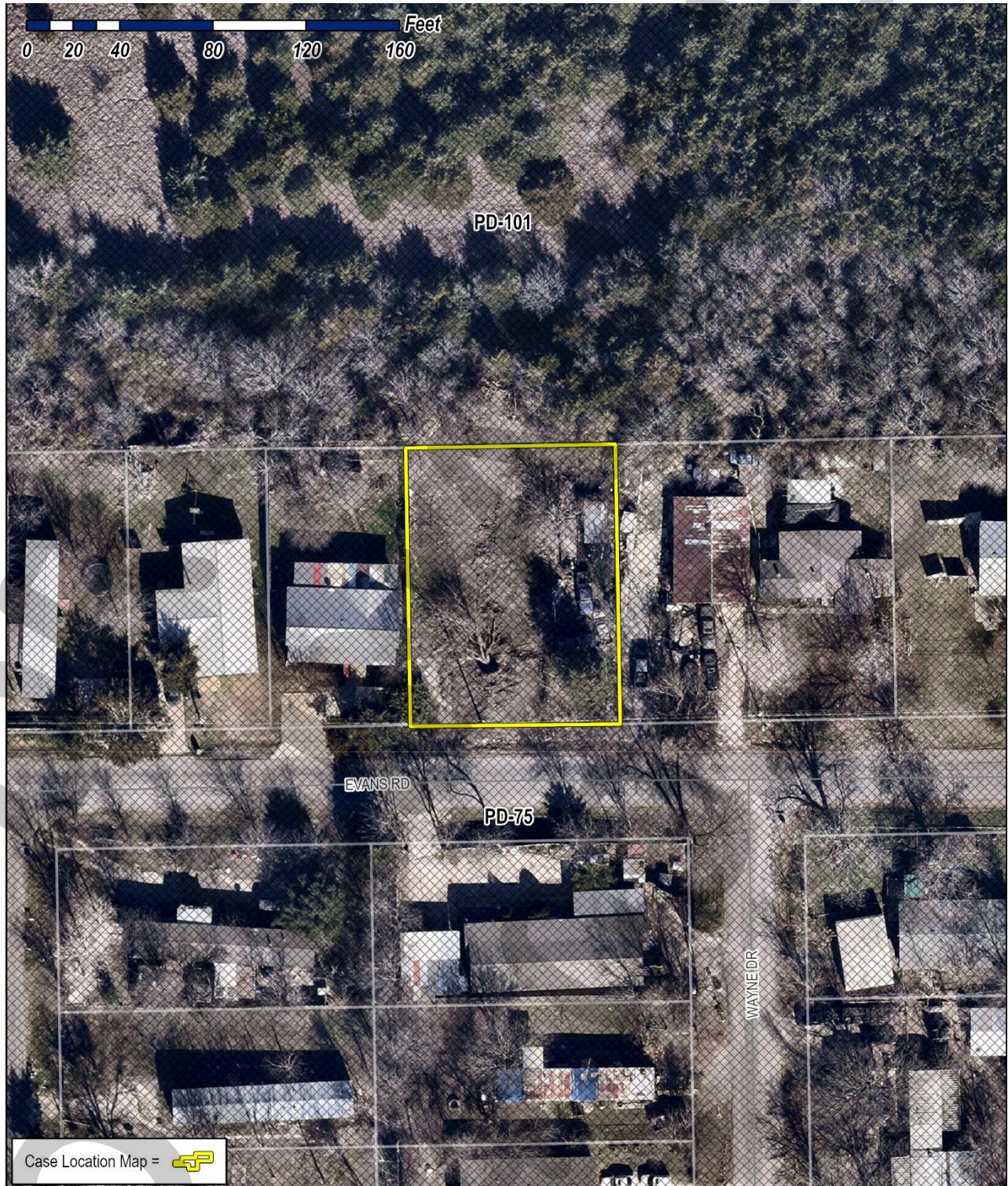
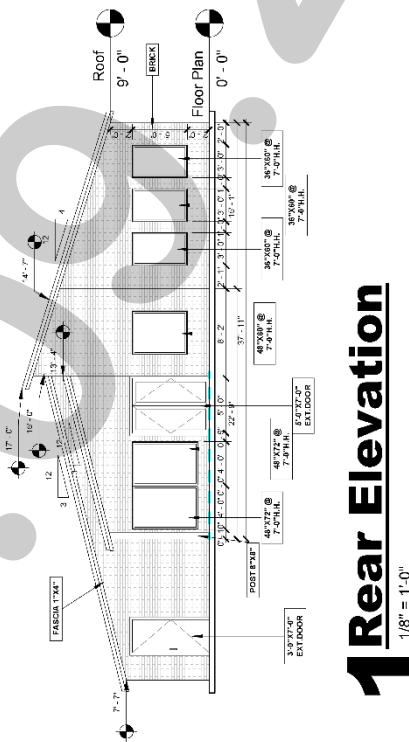
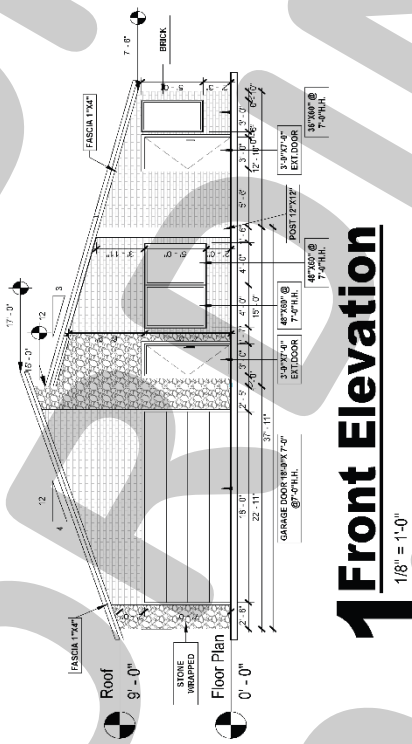
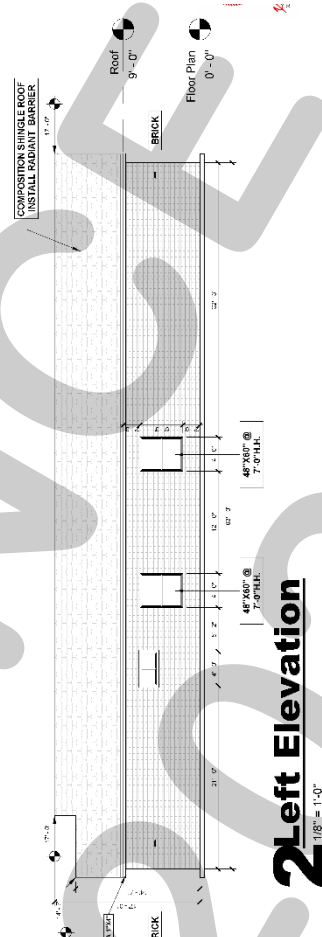
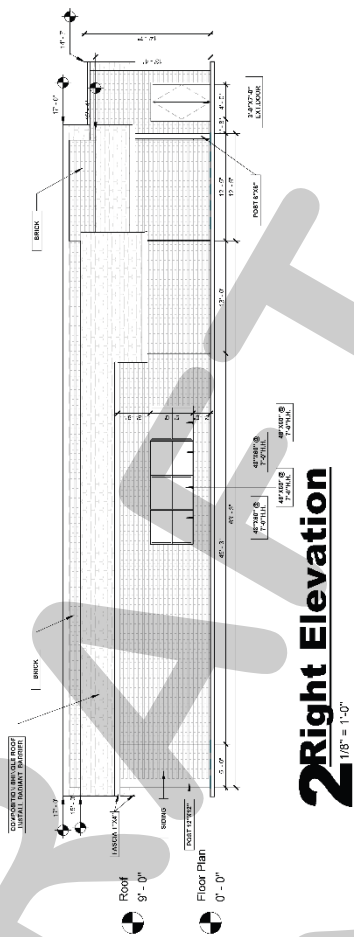






Exhibit 'B':  
Building Elevations





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2024  
**APPLICANT:** Barbara Lee  
**CASE NUMBER:** Z2024-014; *Zoning Change (AG to SF-1) for 628 Cornelius Road*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Barbara Lee for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a ten (10) acre tract of land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 628 Cornelius Road, and take any action necessary.

### BACKGROUND

The subject property was annexed on December 2, 2019 by *Ordinance No. 20-03 [i.e. Case No. A2019-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to Rockwall Central Appraisal District, currently situated on the subject property is a 2,632-SF single-family home that was constructed in 2018. Also situated on the subject property is a barn (*i.e. 1350 SF*), an accessory structure (*i.e. 240 SF*), and two (2) detached carports (*i.e. 320 SF & 400 SF*) that were all constructed in 1990.

### PURPOSE

On March 15, 2024, the applicant -- *Barbara Lee* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Single-Family 1 (SF-1) District. The applicant has indicated that the purpose of the zoning change is to establish two (2) additional single-family residential lots the will be conveyed to family members.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 628 Cornelius Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 19.00-acre tract land of land (*i.e. Tract 22-05 of the W. M. Dalton Survey, Abstract No. 72*) zoned Planned Development District 91 (PD-91) that makes up part of the Winding Creek Subdivision. Beyond that is Clem Road, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this is a vacant 101.43-acre tract of land (*i.e. Tract 4 of the J. M. Glass Survey, Abstract No. 88*) zoned Agricultural (AG) District.

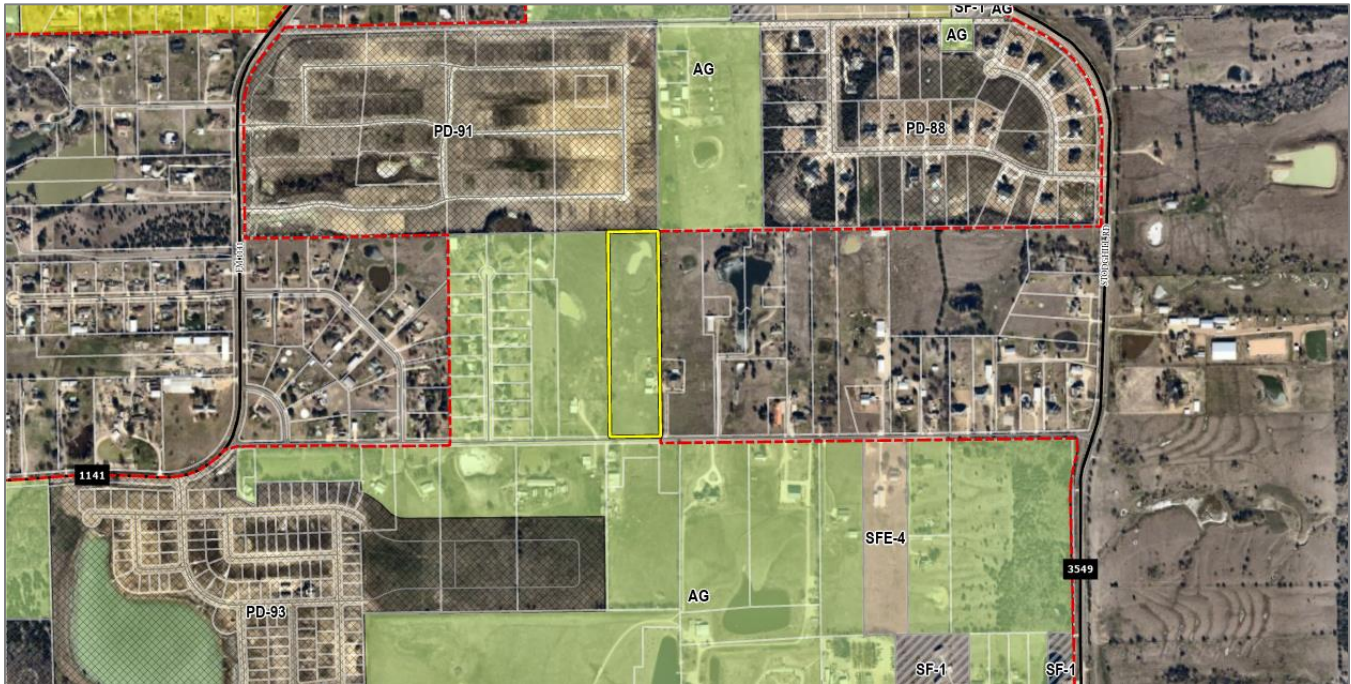
South: Directly south of the subject property is Cornelius Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a one (1) acre tract of land (*i.e. which is part of a larger 12.231-acre tract of land and is identified as Tract 10 of the W. M. Dalton Survey, Abstract No. 72*). Beyond this is a vacant 10.231-acre tract of land (*i.e. Tract 10-01, of the W. M. Dalton Survey, Abstract 72*). South of this is a 55.08-acre tract of land (*i.e. Tract 11 of the W. M. Dalton Survey, Abstract No. 72*), which consists of one (1) single-family home. All of these properties are zoned Agricultural (AG) District.

East: Directly east of the subject property is the boundary for the city limits of the City of Rockwall. Beyond this, there are multiple residential properties situated within the City's Extraterritorial Jurisdiction (ETJ).



West: Directly west of the subject property is a 10.00-acre tract of land (i.e. Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72), which belongs to the Rockwall RV Park and Tiny Home Village. Beyond this is a 4.00-acre tract of vacant land (i.e. Tract 22-07 of the W.M. Dalton Survey, Abstract No. 72). West of this is the Maytona Ranch Estates Subdivision, which was established on September 26, 1983, consists of 19 residential lots, and is 100% developed. All of these properties are zoned Agricultural (AG) District.

MAP 1: LOCATION MAP  
**YELLOW:** SUBJECT PROPERTY



**CHARACTERISTICS OF THE REQUEST**

The applicant is requesting to rezone the ten (10) acre parcel of land from an Agricultural (AG) District to a Single-Family 1 (SF-1) District. The applicant has stated that if approved, it would be her intent to subdivide the property into three (3) parcels of land for the purpose of keeping the parcel with the existing single-family home, and conveying the other two (2) parcels to family members for two (2) new single-family homes. It should be noted, that if this zoning change is approved, any development on the subject property will be required to adhere to all applicable requirements of the Unified Development Code (UDC) for a property that is zoned Single-Family 1 (SF-1) District.

**CONFORMANCE WITH THE CITY’S CODES**

According to Subsection 05.02, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Single-Family 1 (SF-1) District is the property zoning classification for larger, single-family lots that are a minimum of one (1) acre in size ... [and] is also intended to be used for developments that incorporate public/private parks, denominational and private schools, and churches that are essential in creating the basic neighborhood unit.” In this case, the properties along Cornelius Road that are adjacent to the subject property are zoned Agricultural (AG) District, and are typically greater than one (1) acre. Based on this, the requested zoning change does appear to conform to the surrounding area. If the applicant’s zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for properties in a Single-Family 1 (SF-1) District, which are summarized as follows:

TABLE 1: SINGLE-FAMILY 1 (SF-1) DISTRICT STANDARDS

DWELLING UNITS/LOT	1.0
DWELLING UNITS/ACRE <sup>(1)</sup>	1.0
MINIMUM DWELLING UNIT SIZE	2,500
MINIMUM LOT AREA	8,400 SF
MINIMUM LOT WIDTH <sup>(2)</sup>	70'

MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK <sup>(3)</sup>	6'
MINIMUM REAR YARD SETBACK	10'
MINIMUM BETWEEN BUILDINGS	10'
MAXIMUM BUILDING HEIGHT	36'
MAXIMUM LOT COVERAGE	45.00%
MINIMUM REQUIRED PARKING SPACES <sup>(4) &amp; (5)</sup>	2

**NOTES:**

- 1: THE SINGLE-FAMILY 1 (SF-1)
- 2: FRONTAGE ON A PUBLIC STREET
- 3: THE SIDE SETBACK ADJACENT TO A STREET IS TREATED THE SAME AS A FRONT YARD BUILDING SETBACK.
- 4: MINIMUM LENGTH OF DRIVEWAY PAVEMENT FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD IS 20-FEET.
- 5: AN ENCLOSED GARAGE SHALL NOT BE CONSIDERED IN MEETING THE OFF-STREET PARKING REQUIREMENTS.

**CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northeast Residential District and is designated for Low Density Residential (LDR) land uses. The Northeast Residential District is defined as being "...characterized by its established low-density residential subdivisions and rural/estate style lots... (t)he Northeast Residential District being mostly an established residential district, is not anticipated to change or transition." With this being said, most properties with single-family homes along Cornelius Road are situated on larger tracts of land. Based on this, the proposed zoning change conforms to the District Strategies which state that "...the maintenance of the Estate and Rural Residential housing types are important to balancing the diversity of suburban lots to large lot housing within the City." The applicant request also conforms to this strategy given that this district requires a minimum of 1-acre lots. In addition, the Land Use Plan defines the Low Density Residential land use as a "...land use category [*that*] consists of residential subdivisions that are two (2) units per gross acre or less ...". In this case, the applicant is requesting a density of one (1) dwelling unit per acre. Based on this, the applicant's request appears to be in substantial conformance with the OURHometown Vision 2040 Comprehensive Plan.

**INFRASTRUCTURE**

Based on the proposed request, the following infrastructure is required to be constructed to provide adequate public services for the development of the subject property:

- (1) Roadways. At the time of subdivision plat, the developer shall be required to verify and dedicate right-of-way to be 42.50' from the centerline of Cornelius Road in accordance with the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
- (2) Water. The existing single-family home currently situated on the subject property is utilizing Mount Zion Water Supply. An Infrastructure Study might be needed if the proposed lots want to tie in with the City of Rockwall water lines.
- (3) Wastewater. Given that the existing single-family home on the subject property already has an OSSF or septic system, staff should note that the two (2) proposed lots may want to utilize On-Site Sewage Facilities (OSSF) or septic systems as well. According to Section 44-243 of Chapter 44, Utilities, of the Municipal Code of Ordinances, "(n)o permit for an on-site sewage facility (OSSF) will be issued if the location is within 100-feet of an existing city sanitary sewer line unless an exception is granted by the City Council on the grounds that connection with the sanitary sewer is impossible ...", and "(n)o permit for the installation of an on-site sewage facility (OSSF) will be issued for property less than 1½-acre..." In this case, the sewer system for the Winding Creek Subdivision is located more than 100-feet from the proposed lots. In addition, all of the proposed lots are 1½-acre in size. Based on this, the proposed lots are eligible for On-Site Sewage Facilities (OSSF) or septic systems, and no further public hearing or approval is required.
- (4) Drainage. Detention may be required for the newly proposed lots.

## **NOTIFICATIONS**

On March 22, 2024, staff notified 32 property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOA) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices in regard to the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Single-Family 1 (SF-1) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 628 CORNELIUS ROAD

SUBDIVISION 10.02 ACRES W. DALTON A-72 LOT      BLOCK     

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE RESIDENTIAL/AGRICULTURE

PROPOSED ZONING

PROPOSED USE

ACREAGE 10.02 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER BARBARA LEE

APPLICANT SAME

CONTACT PERSON

CONTACT PERSON

ADDRESS 628 CORNELIUS RD

ADDRESS

CITY, STATE & ZIP ROCKWALL TX 75087

CITY, STATE & ZIP

PHONE 214-641-9876

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BARBARA LEE [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 350.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF March, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF MARCH, 2024

OWNER'S SIGNATURE

*Barbara Lee*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

**CARLA FETTY**  
Notary Public State of Texas  
Comm. Expires 04-11-2025  
Notary ID 12296277





Z2024-014: Zoning Change from AG to SF-1

0 87.5 175 350 525 700 Feet

PHOENIX LN PD-91


QUASAR DR

AG

AG

CORNELIUS RD

MARILYN JAYNE LN

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



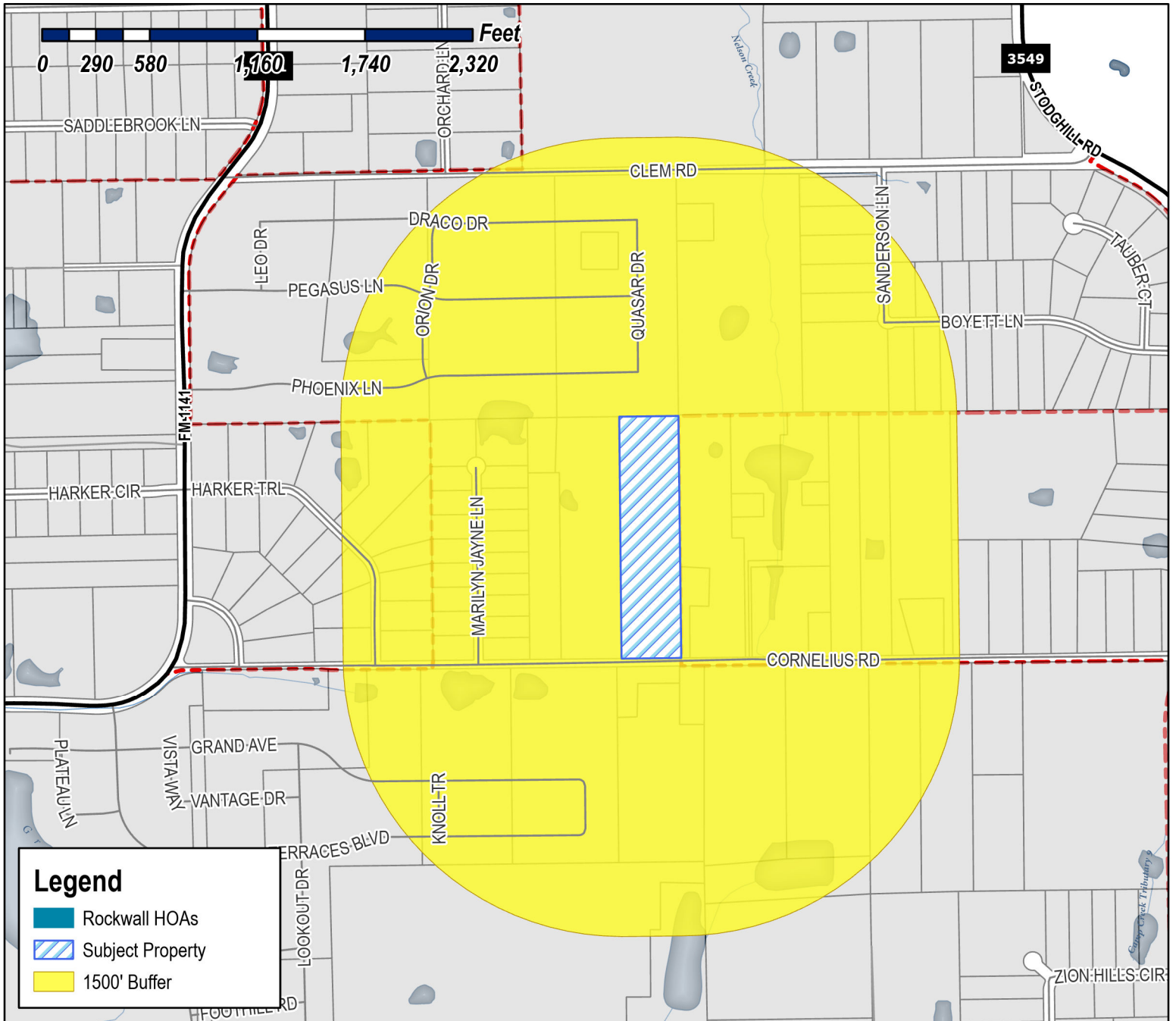




# City of Rockwall

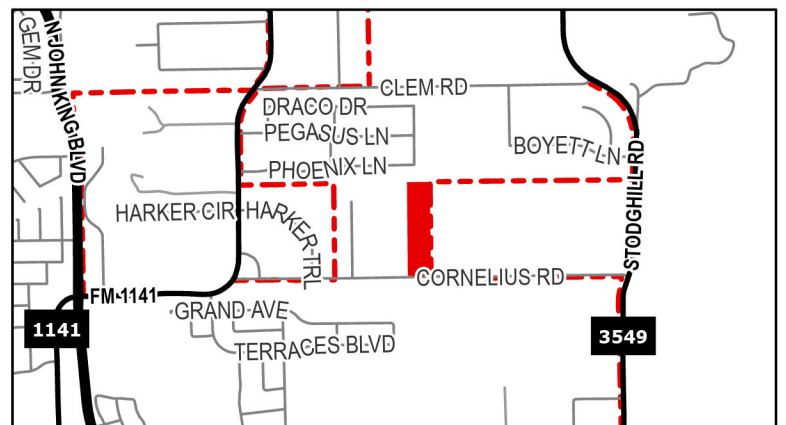
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**Case Number:** Z2024-014  
**Case Name:** Zoning Change from AG to SF-1 for  
**Case Type:** 628 Cornelius Road  
 Zoning  
**Zoning:** Agricultural (AG)  
**Case Address:** 628 Cornelius Road

**Date Saved:** 3/15/2024  
 For Questions on this Case Call (972) 771-7745



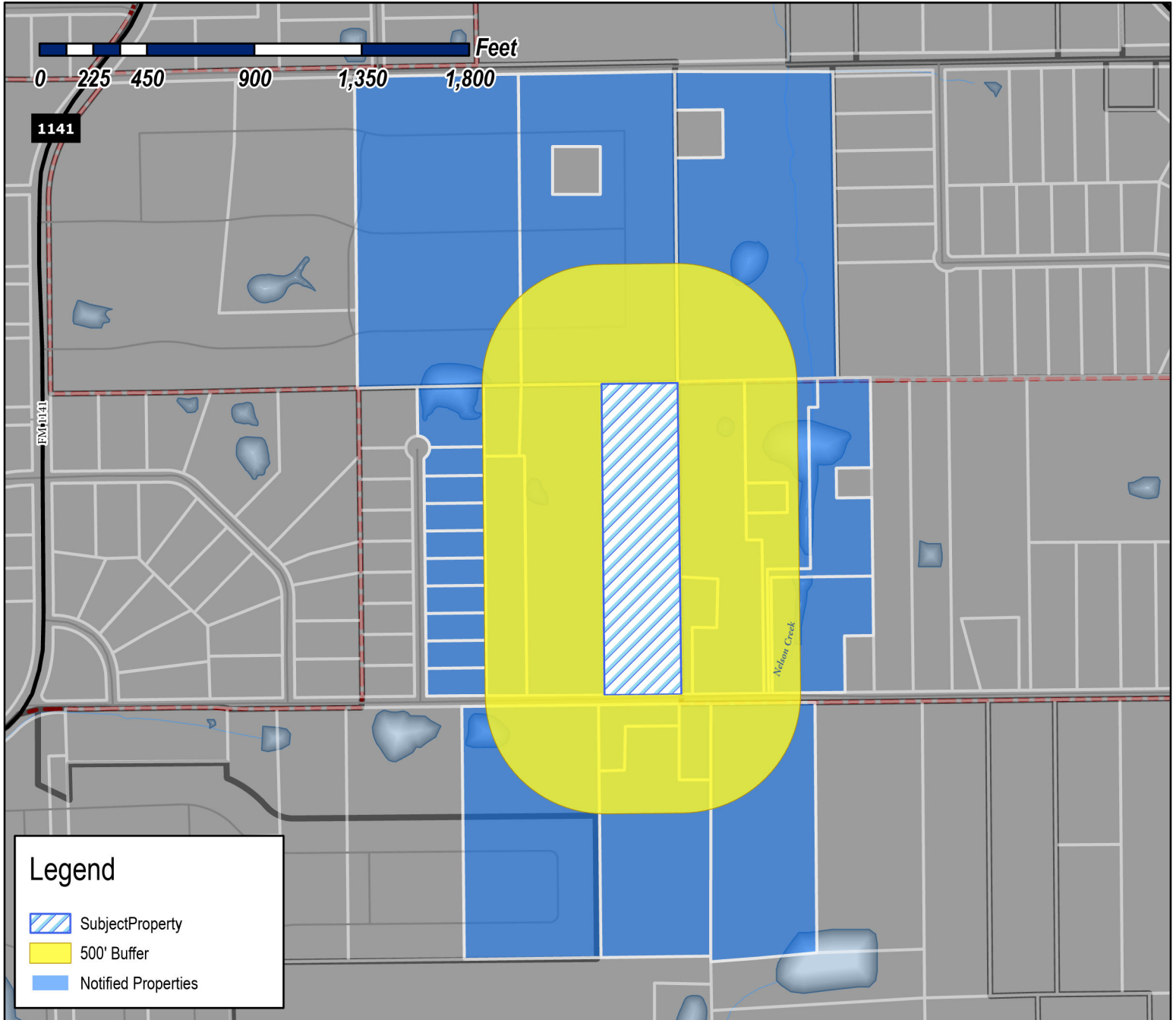




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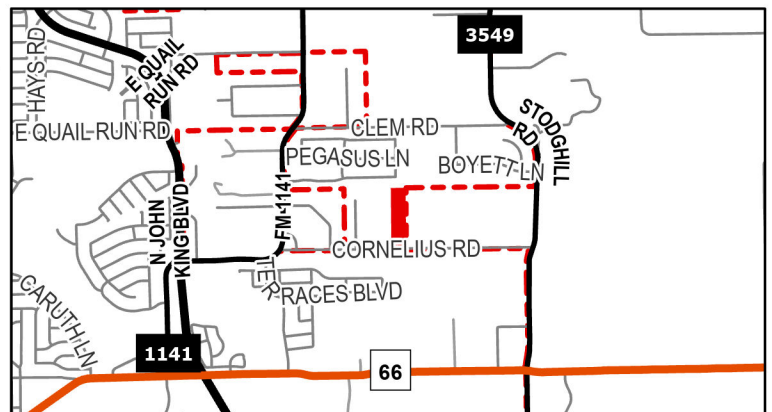
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**Case Number:** Z2024-014  
**Case Name:** Zoning Change from AG to SF-1 for 628 Cornelius Road  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG)  
**Case Address:** 628 Cornelius Road

**Date Saved:** 3/15/2024

For Questions on this Case Call: (972) 771-7746



THOMAS STEPHEN R & SHARON C  
1200 MARILYN JAYNE DR  
ROCKWALL, TX 75087

JAMES BRIAN & KIMBERLY  
1202 MARILYN JAYNE DR  
ROCKWALL, TX 75087

WALKER GRACIE & LEON  
1204 MARILYN JAYNE DR  
ROCKWALL, TX 75087

COOK ROBERT M ETUX  
1206 MARILYN JAYNE DR  
ROCKWALL, TX 75087

RODRIGUEZ CONRADO JR  
1208 MARILYN JAYNE DR  
ROCKWALL, TX 75087

EMRA JOHN AND SHERYL AND  
PAUL AND KATIE EMRA  
1210 MARILYN JAYNE LANE  
ROCKWALL, TX 75087

CONFIDENTIAL  
1212 MAYILYN JAYNE LN  
ROCKWALL, TX 75087

RESIDENT  
1214 MARILYN JAYNE LN  
ROCKWALL, TX 75087

COUCH MITCHELL E AND PATRICIA M  
1216 MARILYN JAYNE DR  
ROCKWALL, TX 75087

MENDOZA ROBERT E AND SANDRA J WILKINS  
1218 MARILYN JAYNE DR  
ROCKWALL, TX 75087

SINGH GAGANPREET K AND PAWANPREET  
151 STEVENSON DR  
FATE, TX 75087

MCCALLUM CRAIG WILLIAM  
1983 N STODGHILL RD  
ROCKWALL, TX 75087

COMBS TERRY G & RONNA T  
2008 E COLLINS BLVD  
RICHARDSON, TX 75081

ROCKWALL RV PARK AND TINY HOME VILLAGE  
3094 COUNTY ROAD 1024  
FARMERSVILLE, TX 75442

RESIDENT  
427 CLEM RD  
ROCKWALL, TX 75087

RESIDENT  
505 CLEM RD  
ROCKWALL, TX 75087

RESIDENT  
520 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
555 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
588 CORNELIUS RD  
ROCKWALL, TX 75087

PEOPLES DONNIE  
589 CORNELIUS  
ROCKWALL, TX 75087

RESIDENT  
611 CLEM RD  
ROCKWALL, TX 75087

LEE JAMES H AND BARBARA  
628 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
657 CORNELIUS RD  
ROCKWALL, TX 75087

PEWITT RONNY M AND JENNIFER L  
668 CORNELIUS ROAD  
ROCKWALL, TX 75087

PERKINS RALPH TRENT & AMY CAIN  
701 CORNELIUS RD  
ROCKWALL, TX 75087

JONES DANIEL AND ALINA  
722 CORNELIUS RD  
ROCKWALL, TX 75087

LITTERELL KENNIE LLOYD  
798 CORNELIUS RD  
ROCKWALL, TX 75087

FALCON PLACE SF LTD  
8214 WESTCHESTER DRIVE SUITE 900  
DALLAS, TX 75225

RESIDENT  
839 CORNELIUS RD  
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L  
P. O. BOX 2214  
ROCKWALL, TX 75087

PEOPLES MIKE  
PO BOX 41  
ROCKWALL, TX 75087



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-014: Zoning Change from AG to SF-1

Hold a public hearing to discuss and consider a request by Barbara Lee for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a ten (10) acre tract of land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 628 Cornelius Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2024-014: Zoning Change from AG to SF-1

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



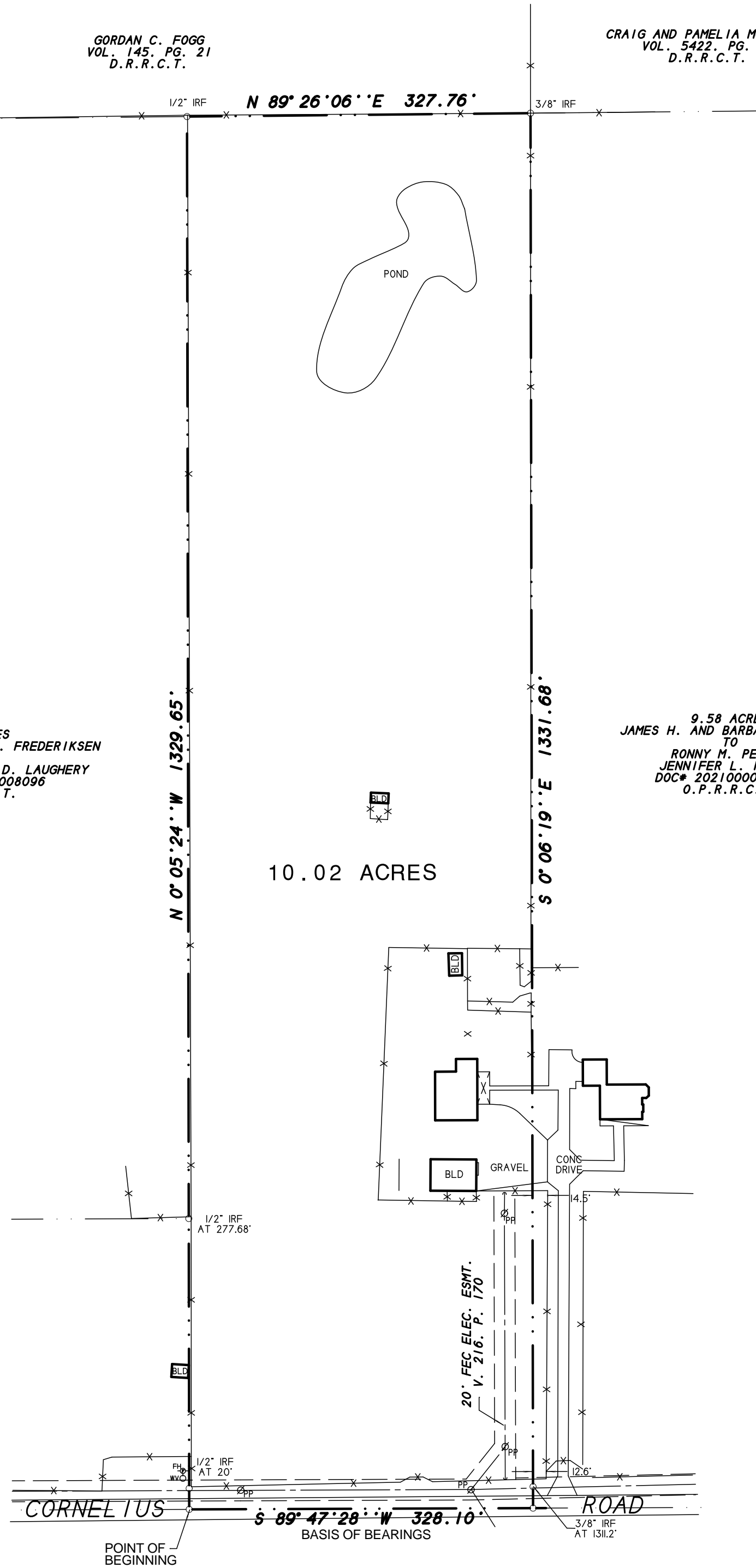
GORDAN C. FOGG  
VOL. 145, PG. 21  
D.R.R.C.T.

CRAIG AND PAMELIA MCCALLUM  
VOL. 5422, PG. 28  
D.R.R.C.T.

9.97 ACRES  
JOHN C. AND ARLENE C. FREDRIKSEN  
TO  
MARC J. AND TRACEY D. LAUGHERY  
DOC# 2015000008096  
O.P.R.R.C.T.

9.58 ACRES  
JAMES H. AND BARBARA P. LEE  
TO  
RONNY M. PEWITT  
JENNIFER L. PEWITT  
DOC# 2021000003975  
O.P.R.R.C.T.

10.02 ACRES



DESCRIPTION

All that certain lot, tract or parcel of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72, Rockwall County, Texas, and being all of a called 10.00 acres tract of land as described in a Warranty deed from Joseph E. Cook and Kerri A. Cook to William Edward Powers and Nancy Freeman Powers, dated July 17, 2015 and being recorded in Document No. 20150000011248 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point for corner in Cornelius Road, said point being at the southwest corner of said Powers tract and at the southeast corner of a 9.97 acres tract of land as described in a Warranty deed from John C. Fredriksen and Arlene C. Fredriksen to Marc J. Laughrey and Tracey D. Laughrey, as recorded in Document no. 2015000008096 of the Official Public Records of Rockwall County, Texas;

THENCE N. 00 deg. 05 min. 24 sec. W., at 20.00 feet pass a 1/2" iron rod found for witness and continuing for a total distance of 1329.65 feet to a 1/2" iron rod found for corner at the northeast corner of said 9.97 acres tract of land;

THENCE N. 89 deg. 26 min. 06 sec. E. a distance of 327.76 feet to a 3/8" iron rod found for corner at the northeast corner of said Powers tract and the northwest corner of a 9.58 acres tract of land as described in a Warranty deed from William E. Powers and Nancy F. Powers to James H. Lee and Barbara P. Lee, as recorded in Document no. 20170000013220 of the Official Public Records of Rockwall County, Texas;

THENCE S. 00 deg. 06 min. 19 sec. E. along the west boundary line of said 9.58 acres tract, at 1311.20 feet pass a 3/8" iron rod found for witness and continuing for a total distance of 1331.68 feet to a point in the center of Cornelius Road;

THENCE S. 89 deg. 47 min. 28 sec. W. along the center of said road, a distance of 328.10 feet to the POINT OF BEGINNING and containing 10.02 acres of land, of which 0.22 acres lies within Cornelius Road.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PER DEED IN DOC# 20150000011248, O.P.R.R.C.T.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Capital Title Company, Integrity Mortgage Corp. of Texas, James H Lee III and Barbara P Lee at Cornelius Road, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 11th day of August, 2017.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND	
TV	TELEVISION CABLE WIRE
⊕	GAS METER
⊗	TEL. POLE
⊕	FIRE HYDRANT
⊕	POWER POLE
⊕	PHONE POLE
⊕	ELEC. BODY
⊕	ELEC. SUBSURFACE JUNCTION BOX
⊕	WATER METER
⊕	SEWER METER
⊕	LP LIGHT POLE
⊕	NON ROD FOUND
⊕	1/2" IRF
⊕	3/8" IRF
⊕	1" CORNER
⊕	PROPR. FENCE
⊕	EXISTING LINE
⊕	PROPR. LINE

**H.D. Fetty Land Surveyor, LLC**  
Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY ACCEPTED BY:  
\_\_\_\_\_  
DATE \_\_\_\_\_  
\_\_\_\_\_  
DATE \_\_\_\_\_

SURVEY DATE AUGUST 11, 2017  
SCALE 1" = 100' FILE # 992020  
CLIENT LEE GF # 17-308498-RW

All that certain lot, tract or parcel of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72, Rockwall County, Texas, and being all of a called 10.00 acres tract of land as described in a Warranty deed from Joseph E. Cook and Kerri A. Cook to William Edward Powers and Nancy Freeman Powers, dated July 17, 2015 and being recorded in Document No. 20150000011248 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

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**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN AN SINGLE FAMILY 1 (SF-1) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	SINGLE FAMILY 1 (SF-1) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Private Horse Corral or Stable	<a href="#">(10)</a>	<a href="#">(6)</a>	S
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Residential Garage	<a href="#">(7)</a>	<a href="#">(4) &amp; (5)</a>	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	<a href="#">(8)</a>	<a href="#">(6)</a>	A
Home Occupation	<a href="#">(9)</a>	<a href="#">(7)</a>	P
Portable Building	<a href="#">(15)</a>	<a href="#">(10)</a>	P
Residential Infill in an Established Subdivision	<a href="#">(16)</a>	<a href="#">(11)</a>	S
Single-Family Detached Structure	<a href="#">(18)</a>	<a href="#">(13)</a>	P
Private Swimming Pool	<a href="#">(20)</a>		A
Private Tennis Court	<a href="#">(21)</a>		S
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	S
Group or Community Home	<a href="#">(11)</a>	<a href="#">(5)</a>	P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	S
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	S
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		S
Private Country Club	<a href="#">(5)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	<a href="#">(25)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	<a href="#">(12)</a>	<a href="#">(5)</a>	S
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	2.02(K)	2.03(K)	
Antenna, as an Accessory	<a href="#">(2)</a>	<a href="#">(1)</a>	S
Antenna, for an Amateur Radio	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Antenna Dish	<a href="#">(5)</a>	<a href="#">(4)</a>	A

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN AN SINGLE FAMILY 1 (SF-1) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	SINGLE FAMILY 1 (SF-1) DISTRICT
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Railroad Yard or Shop	<a href="#">(14)</a>		S
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S
Wireless Communication Tower	<a href="#">(24)</a>		S



SUBSECTION 07.01: RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS

ZONING DISTRICTS → DEVELOPMENT STANDARDS ↓		SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT	SINGLE FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT	SINGLE-FAMILY ESTATE 4.0 (SFE-4.0) DISTRICT	SINGLE-FAMILY 1 (SF-1) DISTRICT	SINGLE-FAMILY 16 (SF-16) DISTRICT	SINGLE-FAMILY 10 (SF-10) DISTRICT	SINGLE-FAMILY 8.4 (SF-8.4) DISTRICT	SINGLE-FAMILY 7 (SF-7) DISTRICT	ZERO LOT LINE (ZL-5) DISTRICT	TWO-FAMILY (2F) DISTRICT	AGRICULTURAL (AG) DISTRICT
ABBREVIATION		SFE-1.5	SFE-2.0	SFE-4.0	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	AG
DWELLING UNITS/LOT		1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	2.0	1.0
DWELLING UNITS/ACRE		0.67	0.5	0.25	1.0 <sup>1</sup>	2.7	4.4	5.2	6.2	8.7	12.4	0.1 <sup>11</sup>
MINIMUM DWELLING UNIT (SF)		2,000	2,200	2,500	2,500	2,400	2,200	1,500	1,100	1,000	800	1,600
MINIMUM LOT REQUIREMENTS	AREA (SQUARE FEET)	65,340	87,120	174,240	8,400	16,000	10,000	8,400	7,000	5,000	7,000	43,560
	WIDTH (FEET) <sup>2</sup>	150	150	200	70	90	80	70	60	50	60	100
	DEPTH (FEET)	250	250	250	100	100	100	100	100	90	100	200
MINIMUM SETBACKS	FRONT (FEET)	50	50	50	20	25	20	20	20	20	20	40
	REAR (FEET)	10	10	10	10	10	10	10	10	10	10	10
	SIDE (FEET) <sup>3</sup>	25	25	25	6	8	6	6	6	0   10 <sup>4</sup>	0 <sup>5</sup>   6 <sup>6</sup>	6
BETWEEN BUILDINGS (FEET)		10	10	10	10	10	10	10	10	10	10	12
BUILDING HEIGHT (FEET)		36	36	36	36	36	36	36	32	30	32	36
MAXIMUM LOT COVERAGE (%)		35	35	35	45	45	45	45	45	50	45	N/A
REQUIRED PARKING SPACES <sup>7</sup>		2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>9</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>9</sup>	2 <sup>10</sup>	2 <sup>8</sup>

ADDITIONAL REQUIREMENTS:

- 1: THE SINGLE FAMILY 1 (SF-1) DISTRICT ALLOWS FOR ONE (1) UNIT PER GROSS ACRE.
- 2: FRONTAGE ON A PUBLIC STREET
- 3: THE SIDE SETBACK ADJACENT TO A STREET IS TREATED THE SAME AS A FRONT YARD BUILDING SETBACK.
- 4: MINIMUM MAINTENANCE EASEMENT IS TEN (10) FEET. MINIMUM MAINTENANCE EASEMENT ON THE NON-ZERO LOT LINE SIDE, WHEN ADJACENT TO ANOTHER LOT IN THE SAME ZONING DISTRICT IS FIVE (5) FEET (THIS EASEMENT SHALL BE MAINTAINED AS AN OPEN SPACE EXCEPT UPON A FINDING BY THE BUILDING OFFICIAL THAT THE PROPOSED IMPROVEMENTS DO NOT IMPEDE THE USE OF SAID EASEMENT FOR MAINTENANCE OF THE ADJOINING STRUCTURE).
- 5: ABUTTING STRUCTURES SEPARATED BY FIRE RETARDANT WALLS.
- 6: TOWNHOUSES SEPARATED BY FIREWALL MEETING THE REQUIREMENTS OF THE BUILDING CODE MAY BUILD TO THE PROPERTY LINE WHERE SUCH STRUCTURES ABUT.
- 7: MINIMUM LENGTH OF DRIVEWAY PAVEMENT FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD IS 20-FEET.
- 8: AN ENCLOSED GARAGE SHALL NOT BE CONSIDERED IN MEETING THE OFF-STREET PARKING REQUIREMENTS. FOR ALL OTHER USES SEE ARTICLE 06, PARKING AND LOADING.
- 9: A TWO (2) CAR GARAGE IS REQUIRED.
- 10: TWO (2) OFF-STREET PARKING SPACES PLUS ONE (1) GARAGE PARKING SPACE FOR EACH DWELLING UNIT IS REQUIRED.
- 11: A MINIMUM LOT SIZE OF TEN (10) ACRES IS REQUIRED FOR THE CONSTRUCTION OF ANY SINGLE-FAMILY DWELLING.



# 11 NORTHEAST RESIDENTIAL DISTRICT

↑ NORTHERN ESTATES DISTRICT (PAGE 1-24)

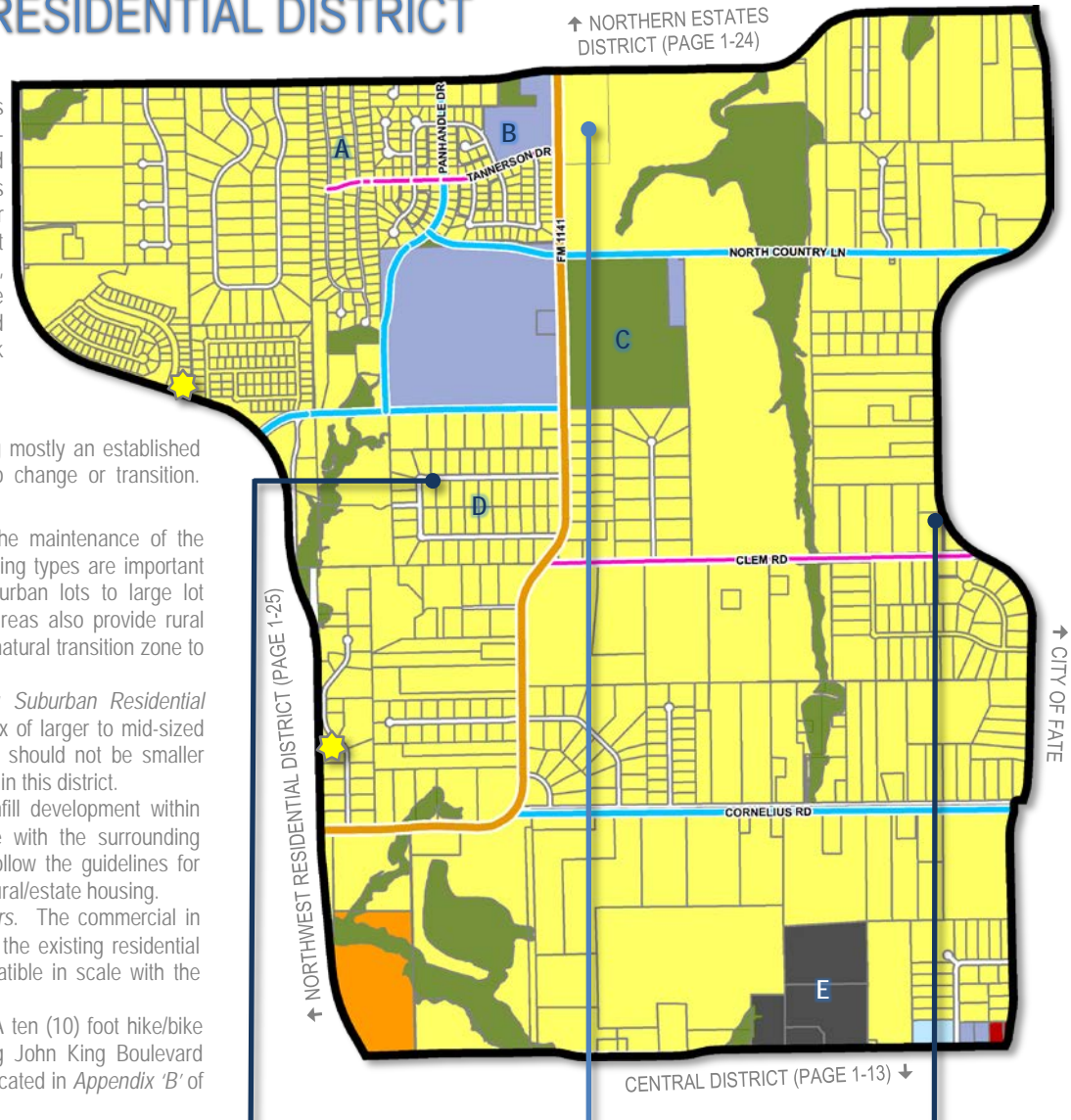
## DISTRICT DESCRIPTION

The *Northeast Residential District* is characterized by its established low-density residential subdivisions and rural/estate style lots. This district is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development. In addition, the City currently owns a large tract of land that will be a northern community park and serve this district in the future.

## DISTRICT STRATEGIES

The *Northeast Residential District* being mostly an established residential district, is not anticipated to change or transition. The strategies for this district are:

- 1 **Estate and Rural Residential.** The maintenance of the *Estate and Rural Residential* housing types are important to balancing the diversity of suburban lots to large lot housing within the City. These areas also provide rural reserves for the City and create a natural transition zone to the east, towards FM-3549.
- 2 **Suburban Residential.** Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district.
- 3 **Infill Development.** Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for low density, suburban housing or rural/estate housing.
- 4 **Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- 5 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



## POINTS OF REFERENCE

- A. Stoney Hollow Subdivision
- B. Celia Hays Elementary School
- C. North Country Lane Park
- D. Saddlebrook Estates Subdivision
- E. Resthaven Funeral Home



2 Current Suburban Residential



2 Future Suburban Residential



1 Current Rural Residential

## LAND USE PALETTES

- Current Land Use
- Future Land Use

★ John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

BUILD OUT 1,964

5,794

% OF ROCKWALL 3.13%

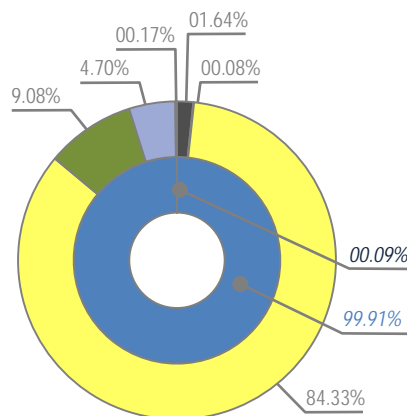
0.99%

3.10%

CURRENT 625

18

1,844



MINOR COLLECTOR	0.00%
M4U	0.01%
M4D	0.01%
COMMERCIAL	0.09%
RESIDENTIAL	99.91%
MIXED USE	0.00%
CEMETERY (CEM)	32.34-ACRES
COMMERCIAL/RETAIL (CR)	1.52-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,658.33-ACRES
PARKS AND OPEN SPACE (OS)	178.54-ACRES
PUBLIC (P)	92.45-ACRES
QUASI-PUBLIC (QP)	3.25-ACRES

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY 1 (SF-1) DISTRICT FOR A 10.00-ACRE TRACT OF LAND IDENTIFIED AS TRACT 22-01 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Barbara Lee for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a 10.00-acre tract of land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 628 Cornelius Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Single-Family 1 (SF-1) District;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family 1 (SF-1) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 03.01, *General Residential District Standards* and Section 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF MAY, 2024.**

\_\_\_\_\_  
Trace Johannessen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2024

2<sup>nd</sup> Reading: May 6, 2024



**Exhibit 'A'**  
*Legal Description*

All that certain lot, tract or parcel of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72, Rockwall County, Texas, and being all of a called 10.00 acres tract of land as described in a Warranty deed from Joseph E. Cook and Kerri A. Cook to William Edward Powers and Nancy Freeman Powers, dated July 17, 2015 and being recorded in Document No. 20150000011248 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

**BEGINNING** at a point for corner in Cornelius Road, said point being at the southwest corner of said Powers tract and at the southeast corner of a 9.97 acres tract of land as described in a Warranty deed from John C. Fredriksen and Arlene C. Fredriksen to Marc J. Laughrey and Tracey D. Laughrey, as recorded in Document no. 20150000008096 of the Official Public Records of Rockwall County, Texas;

**THENCE** N. 00 deg. 05 min. 24 sec. W., at 20.00 feet pass a 1/2" iron rod found for witness and continuing for a total distance of 1329.65 feet to a 1/2" iron rod found for corner at the northeast corner of said 9.97 acres tract of land;

**THENCE** N. 89 deg. 26 min. 06 sec. E. a distance of 327.76 feet to a 3/8" iron rod found for corner at the northeast corner of said Powers tract and the northwest corner of a 9.58 acres tract of land as described in a Warranty deed from William E. Powers and Nancy F. Powers to James H. Lee and Barbara P. Lee, as recorded in Document no. 20170000013220 of the Official Public Records of Rockwall County, Texas;

**THENCE** S. 00 deg. 06 min. 19 sec. E. along the west boundary line of said 9.58 acres tract, at 1311.20 feet pass a 3/8" iron rod found for witness and continuing for a total distance of 1331.68 feet to a point in the center of Cornelius Road;

**THENCE** S. 89 deg. 47 min. 28 sec. W. along the center of said road, a distance of 328.10 feet to the POINT OF BEGINNING and containing 10.02 acres of land, of which 0.22 acres lies within Cornelius Road.





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2024  
**APPLICANT:** Ryan Joyce; *Michael Joyce Properties*  
**CASE NUMBER:** Z2024-015; *Zoning Change (AG to SFE-1.5) for 291, 333, & 555 Cornelius Road*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on January 4, 2010 by *Ordinance No. 10-01 [Case No. A2009-005]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On December 6, 2021, the City Council adopted *Ordinance No. 21-58 [Case No. Z2021-047; S-265]* allowing an *Animal Shelter or Loafing Shed* on a portion of the subject property (*i.e. 555 Cornelius Road*). On September 6, 2022 a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72 were rezoned to Planned Development District 93 (PD-93) [*Case No. Z2022-038; Ordinance No. 22-47*] for the purpose of incorporating this land into the Terraces Subdivision. The remainder of the subject property remained unchanged and zoned Agricultural (AG) District.

According to the Rockwall Central Appraisal District (RCAD) the following improvements currently exist on the subject property:

- (1) 291 Cornelius Road. A 1,732 SF single-family home was constructed in 1960, two (2) covered porches (*i.e. 676 SF and 560 SF*) were constructed in 1960, and a 256 SF detached carport was constructed in 2006.
- (2) 333 Cornelius Road. A 1,584 SF single-family home was constructed in 1989, a 648 SF attached garage was constructed in 1989, two (2) covered porches (*i.e. 670 SF and 614 SF*) were constructed in 1989, and a 504 SF detached carport was constructed in 2012.
- (3) 555 Cornelius Road. A 1,750 SF single-family home was constructed in 1960, two (2) covered porches (*i.e. 400 SF and 300 SF*) were constructed in 1960, a 360 SF barn with a 330 SF canopy was constructed in 1973, a 7,040 SF barn was constructed in 1985, and a 256 SF storage building was constructed in 2012.

Staff should note -- *that concurrently with this zoning request* -- a subdivision plat [*Case No. P2024-009*] was submitted, which would establish the lots contained within this proposed zoning change. As a condition of approval for this subdivision plat, this zoning case would need to be approved. This means that if the subdivision plat is approved by the City Council, the plat will not be considered fully approved and be able to be recorded with Rockwall County until after the anticipated second reading of the proposed zoning ordinance on May 6, 2024. Should the City Council deny this zoning case, the subsequent conditional approval of the subdivision plat would no longer be valid.

### PURPOSE

On March 15, 2024, the applicant -- *Ryan Joyce of Michael Joyce Properties* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for the purpose of establishing eight (8) single-family residential lots.



## ADJACENT LAND USES AND ACCESS

The subject property is addressed 291, 333 & 555 Cornelius Road. The land uses adjacent to the subject property are as follows:

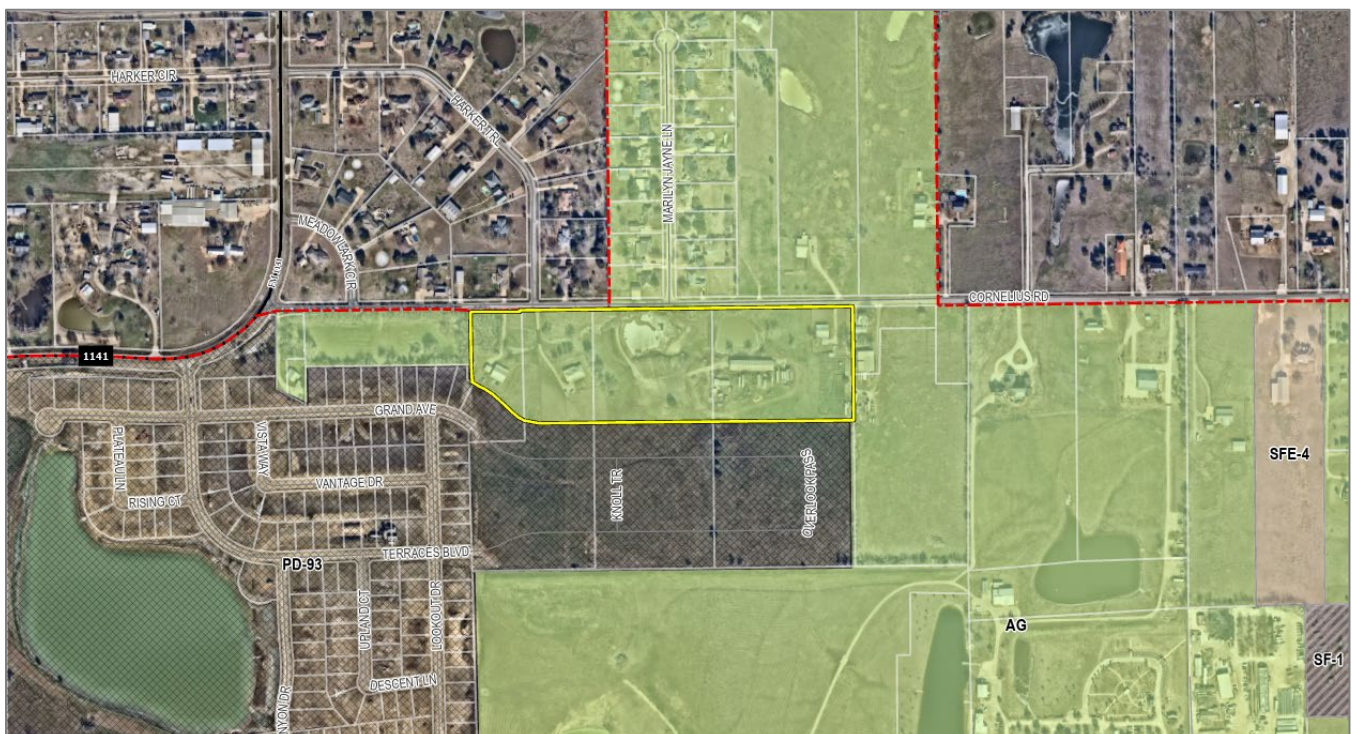
**North:** Directly north of the subject property is Cornelius Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Maytona Ranch Estates Subdivision, which was established on September 26, 1983 and consists of 19 single-family residential lots. This subdivision is zoned Agricultural (AG) District. Also, beyond Cornelius Road is the corporate limits of the City of Rockwall, followed by the Meadowview Ranch Estates Subdivision. This subdivision was established on February 22, 1977, consists of 24 single-family residential lots, and is situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

**South:** Directly south of the subject property is Phase 2 of the Terraces Subdivision, which is zoned Planned Development District 93 (PD-93) and will consist of 82 single-family residential lots. Beyond this is a 55.08-acre tract of land (*i.e. Tract 11 of the W. M. Dalton Survey, Abstract No. 72*), which is currently being utilized for agricultural purposes. This property is zoned Agricultural (AG) District. South of this is SH-66, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**East:** Directly east of the subject property is a 12.231-acre tract of land (*i.e. Tracts 9, 10, & 10-01 of the W. M. Dalton Survey, Abstract No. 72*), which is currently occupied with a single-family home. Beyond this is a 22.27-acre tract of land (*i.e. Lots 1 & 2, Block A, DC Addition*), which consists of two (2) residential lots currently occupied with two (2) single-family homes. All three (3) of these tracts of land are zoned Agricultural (AG) District.

**West:** Directly west of the subject property is Phase 1 of the Terraces Subdivision, which is zoned Planned Development District 93 (PD-93) and consists of 181 single-family residential lots. Beyond this is a 15.935-acre tract of land (*i.e. Tract 5-1 of the M. B. Jones Survey, Abstract No. 122*) that is vacant and zoned Agricultural (AG) District. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**MAP 1: LOCATION MAP**  
**YELLOW: SUBJECT PROPERTY**



**CONFORMANCE TO THE CITY'S CODES**

The 15.561-acre subject property currently has three (3) existing single-family homes on four (4) tracts of land. The applicant has submitted a zoning exhibit showing that -- *if approved* -- the four (4) tracts of land will be reconfigured and subdivided to consist of eight (8) single-family residential lots that will range in size from 1.6296-acres to 2.8269-acres. To facilitate this request, the applicant is requesting the zoning be changed from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District. According to Subsection 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family Estate 1.5 (SFE-1.5) District is the proper zoning classification for rural, estate lots that are a minimum of 1½-acres in size. These lots are typically in areas that are located in the City's hinterland, away from higher density residential developments and non-residential development." In this case, Cornelius Road is primarily developed with larger tracts of residential or agricultural land. The only development that deviates from this land pattern is the Terraces Subdivision, which is currently under construction and is situated closer to John King Boulevard than the larger tracts of land along Cornelius Road. Based on this, the applicant's request appears to conform to the purpose of the Single-Family Estate 1.5 (SFE-1.5) District and the existing land use patterns in the area. According to the *Residential District Development Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), the following is a summary of the density and dimensional requirements for the Single-Family Estate 1.5 (SFE-1.5) District:

TABLE 1: SINGLE -FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT STANDARDS

DWELLING UNITS/LOT	1.0
DWELLING UNITS/ACRE	0.67
MINIMUM DWELLING UNIT SIZE	2,000
MINIMUM LOT AREA	65,340 SF
MINIMUM LOT WIDTH <sup>(1)</sup>	150'
MINIMUM LOT DEPTH	250'
MINIMUM FRONT YARD SETBACK	50'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	25'
MINIMUM REAR YARD SETBACK	10'
MINIMUM BETWEEN BUILDINGS	10'
MAXIMUM BUILDING HEIGHT	36'
MAXIMUM LOT COVERAGE	35.00%
MINIMUM REQUIRED PARKING SPACES <sup>(3) &amp; (4)</sup>	2

NOTES:

- 1: FRONTAGE ON A PUBLIC STREET
- 2: THE SIDE SETBACK ADJACENT TO A STREET IS TREATED THE SAME AS A FRONT YARD BUILDING SETBACK.
- 3: MINIMUM LENGTH OF DRIVEWAY PAVEMENT FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD IS 20-FEET.
- 4: AN ENCLOSED GARAGE SHALL NOT BE CONSIDERED IN MEETING THE OFF-STREET PARKING REQUIREMENTS.

For the City Council and Planning and Zoning Commission's reference, staff has included a list of all of the *Permissible Land Uses* for the Single-Family Estate 1.5 (SFE-1.5) District as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code (UDC) in the attached packet.

**CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northeast Residential District and is designated for Low Density Residential land uses. According to the *District Description*, the Northeast Residential District is a district that is "...characterized by its established low-density residential subdivisions and rural/estate style lots." As previously stated, the majority of properties along Cornelius Road are larger tracts of land with single-family homes or that are being utilized for agricultural purposes. This appears to conform to the *District Strategies* for this district, which encourage "(t)he maintenance of the *Estate and Rural Residential* housing types ... [as being] important to balancing the diversity of suburban lots to large lot housing within the City." The applicant's request also appears to conform to this strategy being a request for a zoning district that requires a minimum of 1½-acre lots. In addition, the *Land Use Plan* defines the Low Density Residential land use as a "...land use category [*that*] consists of residential subdivisions that are two (2) units per gross acre or less ..." In this case, the applicant is requesting a density of 0.67 dwelling units per acre. Based on this, the applicant's request appears to be in substantial conformance with the OURHometown Vision 2040 Comprehensive Plan.

## **INFRASTRUCTURE**

Based on the proposed request, the following infrastructure is required to be constructed to provide adequate public services for the development of the subject property:

- (1) Roadways. At the time of subdivision plat, the developer shall be required to verify and dedicate the right-of-way for Cornelius Road in accordance with the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
- (2) Water. A 12-inch waterline is required in the 20' *Drainage and Utility Easement* in Lots 2 & 3 as shown on the zoning exhibit. In addition, this line will need to be extended across the frontage of Lots 3-8 per the Master Water Plan contained in the OURHometown Vision 2040 Comprehensive Plan. For Lots 1 & 2, an eight (8) inch water line will need to be extended from the 12-inch line to provide service and fire protection for these two (2) proposed parcels of land.
- (3) Wastewater. As part of this zoning request, the applicant is also requesting to utilize On-Site Sewage Facilities (OSSF) or septic systems for the five (5) newly proposed lots. The existing three (3) single-family homes currently situated on the subject property already have OSSF or septic systems. According to Section 44-243 of Chapter 44, *Utilities*, of the Municipal Code of Ordinances, "(n)o permit for an on-site sewage facility (OSSF) will be issued if the location is within 100-feet of an existing city sanitary sewer line unless an exception is granted by the City Council on the grounds that connection with the sanitary sewer is impossible ...", and "(n)o permit for the installation of an on-site sewage facility (OSSF) will be issued for property less than 1½-acre..." In this case, the sewer system for the Terraces Subdivision has not been accepted by the City, and the proposed lines are more than 100-feet from the subject property. In addition, all of the proposed lots are greater than 1½-acre in size. Based on this, the proposed lots are eligible for On-Site Sewage Facilities (OSSF) or septic systems, and no further public hearing or approval is required.
- (4) Drainage. Detention will be required and need to be sized per *Manning's C-Value* for the zoning designation.

## **NOTIFICATIONS**

On March 19, 2024, staff mailed 34 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices (*i.e. one [1] in favor and one [1] opposed to the applicant's request*); however, both notices were from property situated in the City Extraterritorial Jurisdiction (ETJ). These have been included in the attached packet.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	333 Cornelius Road		
SUBDIVISION	M.B. Jones Survey, Abstract No. 122	LOT	BLOCK
GENERAL LOCATION	Approximately 1250 ft east of the intersection John King & FM 1141 South of 1141		

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-93	CURRENT USE	
PROPOSED ZONING	SFE-1.5	PROPOSED USE	Single Family
ACREAGE	15.561	LOTS [CURRENT]	4
		LOTS [PROPOSED]	8

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Mike Peoples	<input checked="" type="checkbox"/> APPLICANT	Michael Joyce Properties
CONTACT PERSON	Mike Peoples	CONTACT PERSON	Ryan Joyce
ADDRESS	PO Box 41	ADDRESS	767 Justin Road
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE		PHONE	512-965-6280
E-MAIL		E-MAIL	ryan@michaeljoyceproperties.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Peoples [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

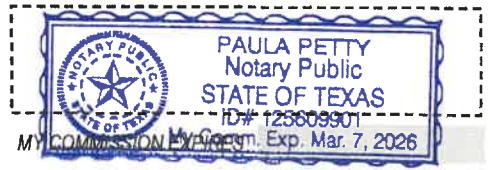
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 433.42 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8<sup>th</sup> DAY OF March, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8<sup>th</sup> DAY OF March, 2021

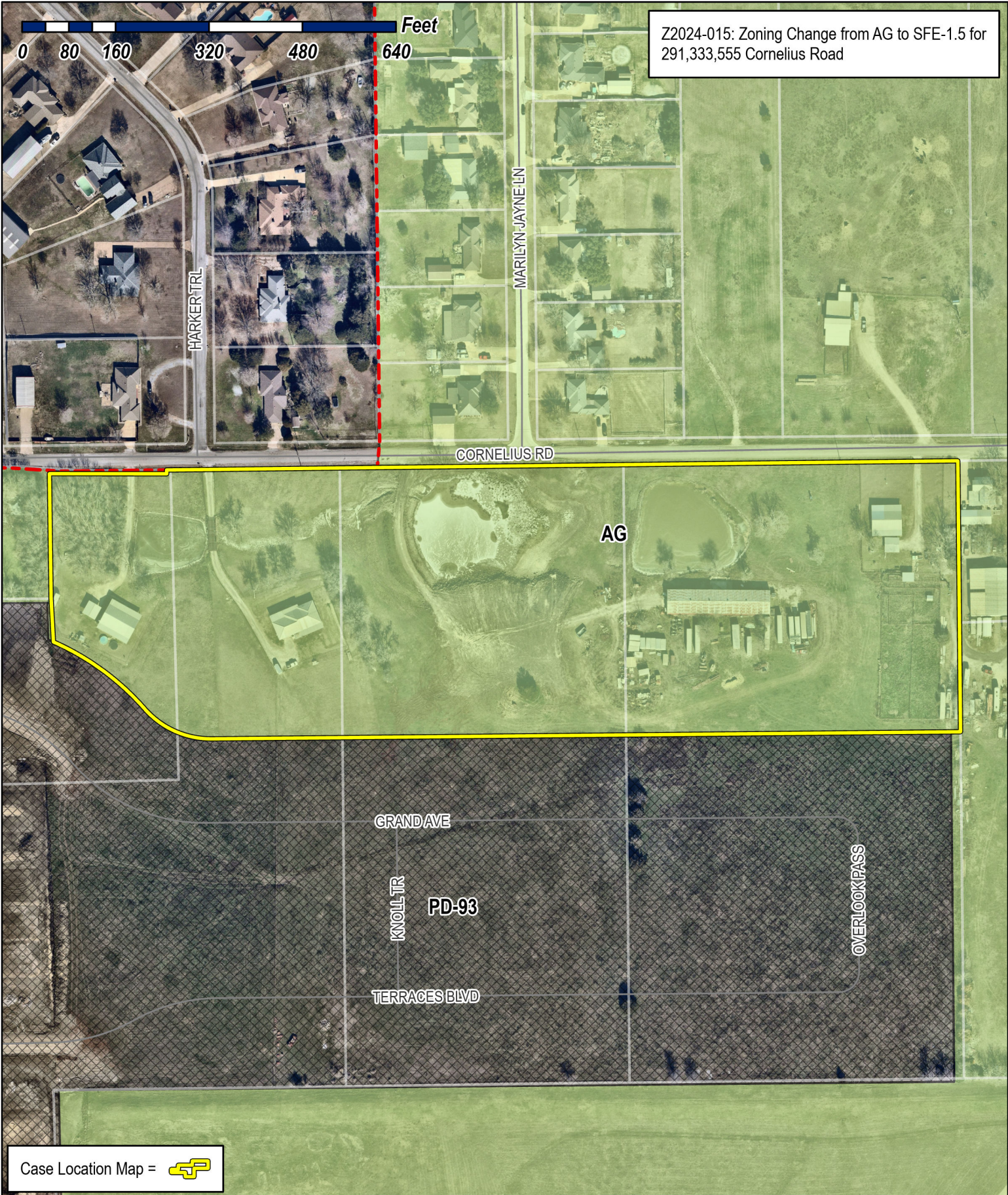
OWNER'S SIGNATURE

*Mike Peoples*  
*Paula Petty*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



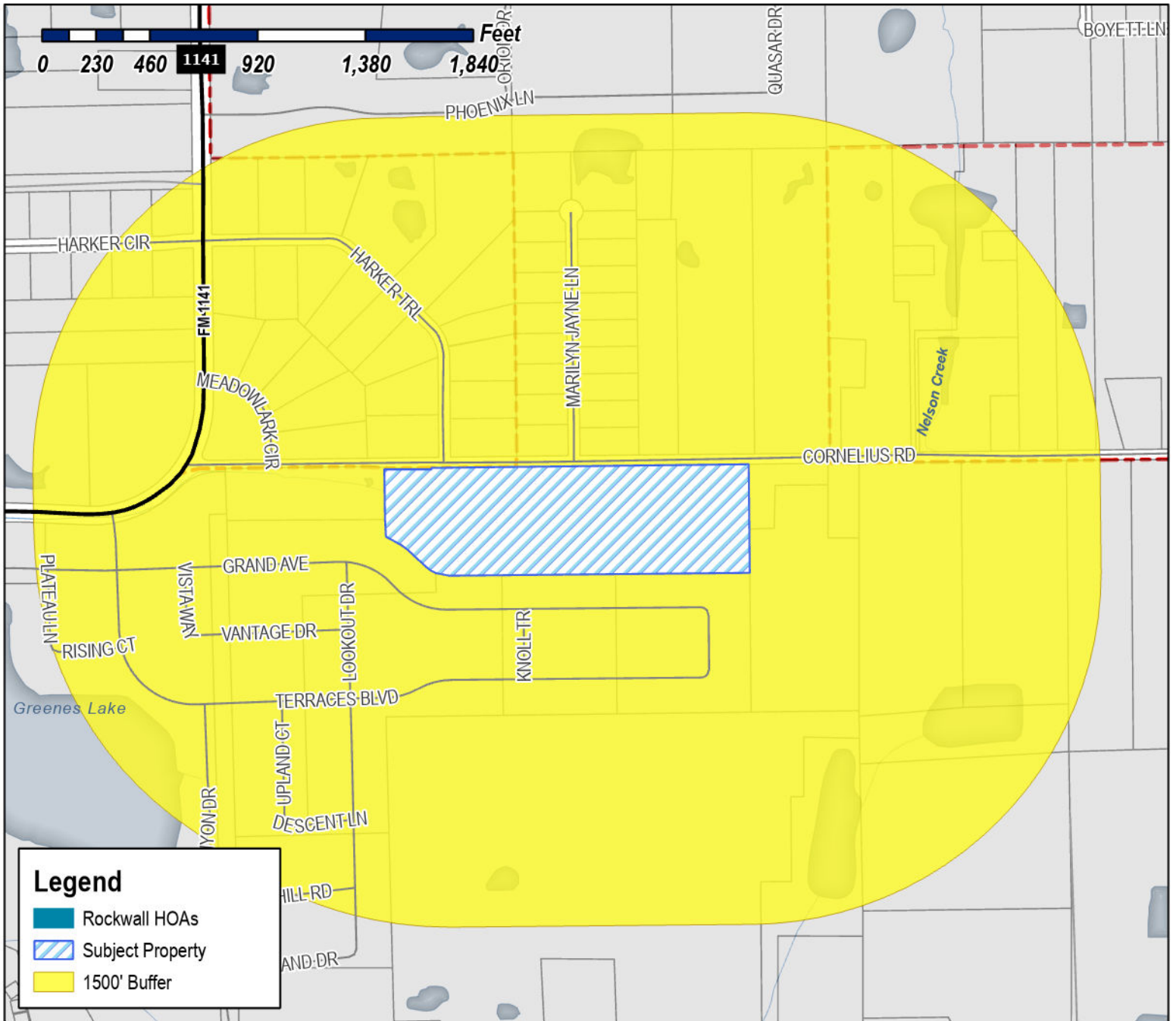




# City of Rockwall

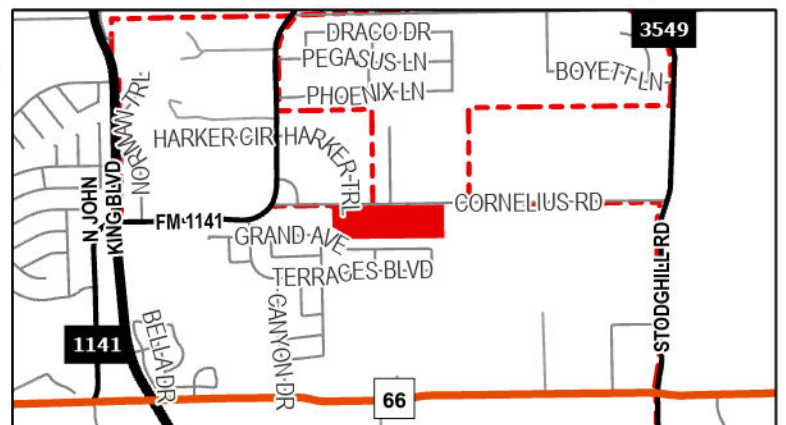
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**Case Number:** Z2024-015  
**Case Name:** Zoning Change from AG to SFE 1.5  
**Case Type:** for 291, 333, 555 Cornelius Road Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 333 Cornelius Road

**Date Saved:** 3/15/2024  
 For Questions on this Case Call (972) 771-7745



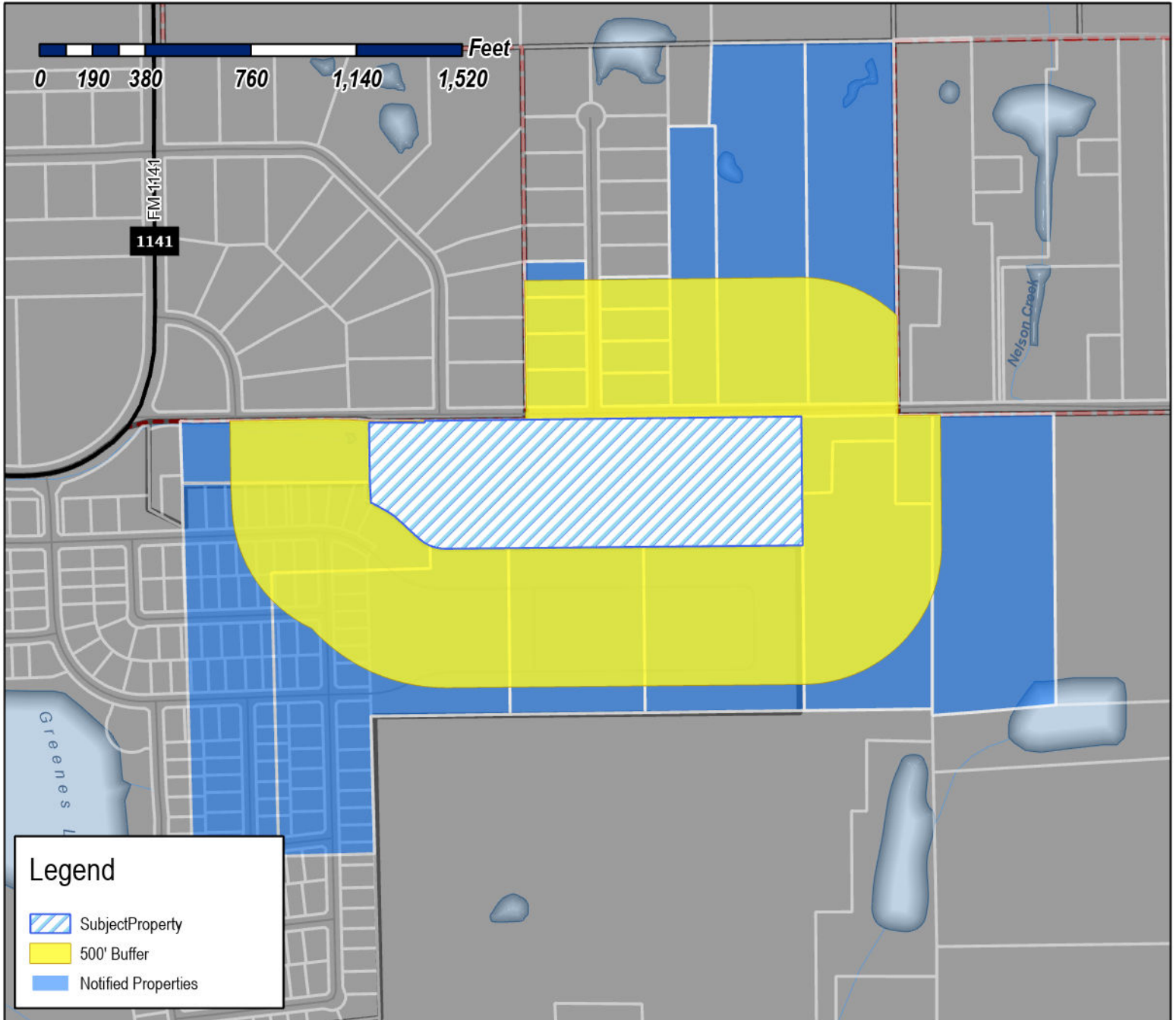




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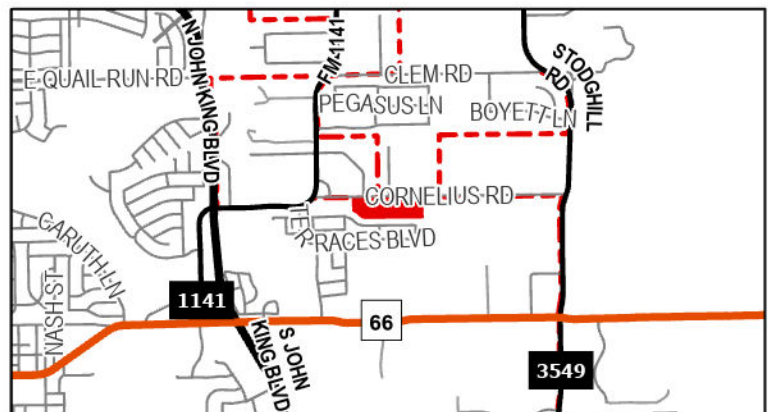
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**Case Number:** Z2024-015  
**Case Name:** Zoning Change from AG to SFE 1.5 for 291, 333, 555 Cornelius Road  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 333 Cornelius Road

**Date Saved:** 3/25/2024

For Questions on this Case Call: (972) 771-7745



THOMAS STEPHEN R & SHARON C  
1200 MARILYN JAYNE DR  
ROCKWALL, TX 75087

RANDY AND KAY WILSON REVOCABLE TRUST  
RANDY SCOTT WILSON AND KAY MARIE  
WILSON- CO TRUSTEES  
1201 MARILYN JAYNE  
ROCKWALL, TX 75087

JAMES BRIAN & KIMBERLY  
1202 MARILYN JAYNE DR  
ROCKWALL, TX 75087

SMITH DANIEL T  
1203 MARILYN JAYNE DR  
ROCKWALL, TX 75087

WALKER GRACIE & LEON  
1204 MARILYN JAYNE DR  
ROCKWALL, TX 75087

JAMES DAVID L  
1205 MARILYN JAYNE DRIVE  
ROCKWALL, TX 75087

COOK ROBERT M ETUX  
1206 MARILYN JAYNE DR  
ROCKWALL, TX 75087

CANTRELL CARL DEAN  
1207 MARILYN JAYNE DR  
ROCKWALL, TX 75087

RATLIFF JENNIFER L  
123 HARKER TRAIL  
ROCKWALL, TX 75087

ANDRULAT ALEC J AND VERONICA BITZ  
124 HARKER TR  
ROCKWALL, TX 75087

MCKEE MARK D  
131 MEADOWLARK CIR  
ROCKWALL, TX 75087

LAWRENCE JAMES CHRISTOPHER  
151 HARKER TRAIL  
ROCKWALL, TX 75087

SINGH GAGANPREET K AND PAWANPREET  
151 STEVENSON DR  
FATE, TX 75087

KING NATALIE  
153 MEADOWLARK CIRCLE  
ROCKWALL, TX 75087

SHANNON STANLEY W  
162 HARKER TRL  
ROCKWALL, TX 75087

SOSTA ARLENE  
171 HARKER TRL  
ROCKWALL, TX 75087

FORTNER NATHAN  
218 HARKER TRAIL  
ROCKWALL, TX 75087

RESIDENT  
219 CORNELIUS RD  
ROCKWALL, TX 75087

RANDLE SUSAN AND DERRICE  
226 CORNELIUS RD  
ROCKWALL, TX 75087

WOOLARD JAMES R  
252 HARKER TRL  
ROCKWALL, TX 75087

RESIDENT  
291 CORNELIUS RD  
ROCKWALL, TX 75087

ROCKWALL RV PARK AND TINY HOME VILLAGE  
3094 COUNTY ROAD 1024  
FARMERSVILLE, TX 75442

RESIDENT  
333 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
520 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
555 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
588 CORNELIUS RD  
ROCKWALL, TX 75087

PEOPLES DONNIE  
589 CORNELIUS  
ROCKWALL, TX 75087

LEE JAMES H AND BARBARA  
628 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
657 CORNELIUS RD  
ROCKWALL, TX 75087

PEWITT RONNY M AND JENNIFER L  
668 CORNELIUS ROAD  
ROCKWALL, TX 75087

PERKINS RALPH TRENT & AMY CAIN  
701 CORNELIUS RD  
ROCKWALL, TX 75087

RESIDENT  
839 CORNELIUS RD  
ROCKWALL, TX 75087

PEOPLES MIKE  
PO BOX 41  
ROCKWALL, TX 75087



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-015: Zoning Change from AG to SFE-1.5

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2024-015: Zoning Change from AG to SFE-1.5

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2024-015: Zoning Change from AG to SFE-1.5

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: SHARON SHANNON

Address: 162 HARKER TRAIL

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Case No. Z2024-015: Zoning Change from AG to SFE-1.5

Please place a check mark on the appropriate line below:

 I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below. STRONGLY OPPOSED

Because the change in zoning COMPLETELY changes the character of the neighborhood. We moved to the area years ago because we love the semi-rural character.

Name: James + Aundria Woolard

Address: 252 Hurker Trl, Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





767 Justin Rd  
Rockwall, TX 75087

April 2, 2024

Mr. Ryan Miller  
City of Rockwall  
Director of Planning  
385 S. Goliad  
Rockwall, TX 75087

RE: Zoning Case Z2024-015 | Peoples Property

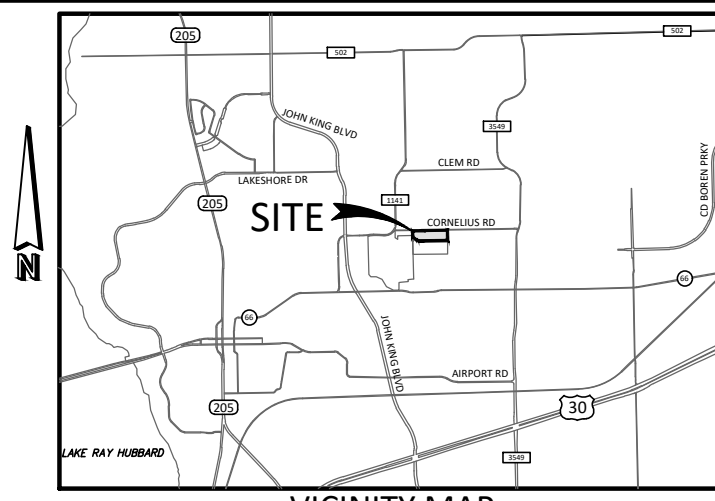
Dear Mr. Miller,

In relation to City of Rockwall Zoning Case Z2024-015 we would like to request that the zoning allow for On Site Sewer Treatment Facilities (OSSF) be allowed for this addition to the City. Part of the property includes 3 existing homes that are currently utilizing OSSF for their waste water treatment. Additionally these lots would sit below the grade of the homes in Terraces Phase 2. With the creations of these lots, the OSSF seems a better fit than a lift station and or pump stations for each individual home to get back up stream to the Terraces Phase 2 sanitary system.

Sincerely,

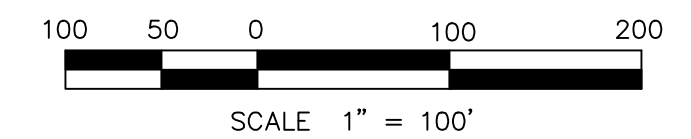
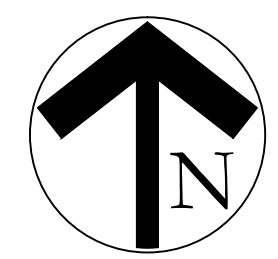


Michale Ryan Joyce  
President  
MRJoyce, LLC  
dba Michael Joyce Properties



VICINITY MAP  
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
  - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
  - 1/2" IRF (unless otherwise noted)
- AC Acre  
BL Building Line  
C1 Curve No.  
<CM> Control Monument  
DE Drainage Easement  
DUE Drainage Utility Easement  
Esmt Easement  
L1 Line No.  
SF Square Feet  
UE Utility Easement  
VE Visibility Easement  
SE Sidewalk Easement  
D.R.R.C.T.= Deed Records of Rockwall County, Texas  
P.R.R.C.T.= Plat Records of Rockwall County, Texas



**FINAL PLAT  
PEOPLES TRACT**

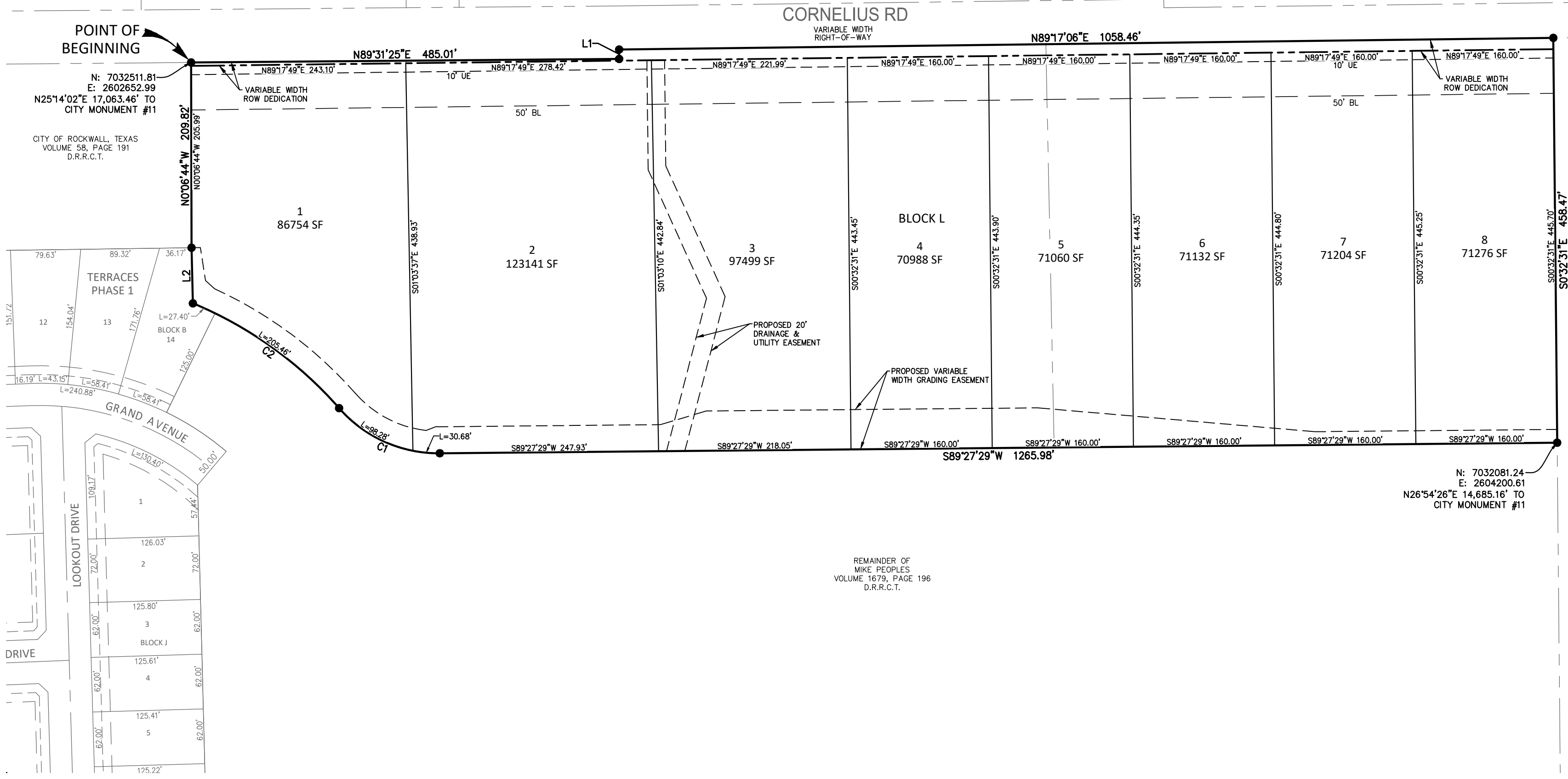
LOTS 1-8 BLOCK L;  
15.561 ACRES OR 677,846 SQ. FT.  
8 SINGLE FAMILY LOTS  
SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,  
AND ALL OF TRACT 13 & 25 OF THE  
WILLIAM DALTON SURVEY, ABSTRACT NO. 72  
AND TRACT 4 & 4-01 OF THE  
M.B. JONES SURVEY, ABSTRACT NO. 122  
**CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS**  
P2024-XXX

March 5, 2024  
EXIST. ZONING: PD-93  
LAND USE: SF-1.5  
SHEET 1 OF 2

**JOHNSON VOLK  
CONSULTING**  
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033  
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

**Owner/Applicant:**  
MR JOYCE, LLC  
4416 W. Lovers Ln, Suite 200  
Dallas, Texas 75209  
Phone: 214-577-1431

**Engineer/Surveyor:**  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite. 1200  
Plano, Texas 75074  
Phone: 972-201-3100  
Contact: Tom Dayton, PE



- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
  - ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
  - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.
  - LOCATION OF 1% ANNUAL FLOOD CHANGE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
  - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
  - IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
  - PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
  - ALL OPEN SPACE, PARKS & GREEN BELTS SHALL BE PRIVATE AND MAINTAINED, REPLACED AND REPAIRED BY HOA/PROPERTY OWNER.
  - ALL NON-STANDARD SIGNS, LIGHTS, AND HARDWARE ARE TO BE MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER OR HOA.

Line Table		
Line	Length	Direction
L1	10.64	N0° 28' 35"W
L2	63.06	N1° 28' 22"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	128.96	150.00	049°15'27"	125.02	N65° 54' 48"W
C2	205.46	450.00	026°09'34"	203.68	N54° 21' 52"W

REMAINDER OF  
MIKE PEOPLES  
VOLUME 1679, PAGE 196  
D.R.R.C.T.

DONNIE PEOPLES  
VOLUME 188, PAGE 357  
P.R.R.C.T.



**LEGAL DESCRIPTION:**

BEING a tract of land situated in the William Dalton Survey, Abstract Number 72 Rockwall County, Texas and being portions of those tracts of land conveyed to Mike Peoples, according to the documents filed of record in Volume 1679, Page 190, Volume 1679, Page 196, Volume 173, Page 752 and Volume 184, Page 522, Deed Records Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

BEGINNING at a point for the northeast corner of that tract of land conveyed to the City of Rockwall, Texas according to the document filed of record in Volume 58, Page 191, (D.R.R.C.T.) same being the northwest corner of the tract of land described herein;

THENCE, North 89 degrees 31 minutes 25 seconds East, a distance of 485.01 feet to a point for a corner of this tract;

THENCE, North 00 degrees 28 minutes 35 seconds West, a distance of 10.64 feet to a point for a corner of this tract;

THENCE, North 89 degrees 17 minutes 06 seconds East, a distance of 1058.46 feet to a point for the northwest corner of that tract of land conveyed to Donnie Peoples according to the document filed of record in Volume 188, Page 357 (D.R.R.C.T.) and being the common northeast corner of this tract;

THENCE, South 00 degrees 32 minutes 31 seconds East, with the west line of said Donnie Peoples tract, same being common with the east line of this tract, a distance of 458.47 feet to a point for the southeast corner of this tract;

THENCE, South 89 degrees 27 minutes 29 seconds West, leaving said common line, a distance of 1265.98 feet to a point for a corner of this tract and being the beginning of a curve to the right, having a central angle of 49° 15' 27", a radius of 150.00 feet, and a long chord bearing and distance of North 65degrees 54minutes 48seconds West, 125.02 feet;

THENCE, with said curve to the right an arc distance of 128.96 feet to a point for a corner of this tract and the beginning of a non-tangent curve to the left, having a central angle of 26° 09' 34", a radius of 450.00 feet, and a long chord bearing and distance of North 54degrees 21minutes 52seconds West, 203.68 feet;

THENCE, with said curve to the left an arc distance of 205.46 feet to a point in the east line of Terraces Phase One, an addition to the City of Rockwall, Rockwall County, Texas according to the plat filed of record in Document Number 2024000000459 Plat Records Rockwall County, Texas for the most westerly southwest corner of this tract;

THENCE, North 01 degrees 28 minutes 22 seconds West, with said east line, a distance of 63.06 feet to a point for the northeast corner of said addition, same being the common southeast corner of the above-mentioned City of Rockwall tract and a common corner of this tract;

THENCE North 00 degrees 06 minutes 44 seconds West, with the east line of said City of Rockwall tract and common west line of this tract, a distance of 209.82 feet to the POINT OF BEGINNING and containing 677,846 square feet or 15.561 acres of land.

**OWNER'S CERTIFICATION:**

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the PEOPLES TRACT subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the PEOPLES TRACT subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of these respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Signature \_\_\_\_\_  
Name \_\_\_\_\_  
Title \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, of MR JOYCE, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Notary public in and for the State of Texas

\_\_\_\_\_  
My Commission Expires

**SURVEYOR'S CERTIFICATE:**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

\_\_\_\_\_  
RYAN S. REYNOLDS, R.P.L.S.  
Texas Registered Professional Land Surveyor No. 6385.

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Notary public for and in the State of Texas

My commission expires: \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairperson

\_\_\_\_\_  
Date

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas be approved by the City Council of the City of Rockwall on \_\_\_\_ day of \_\_\_\_\_, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

**FINAL PLAT  
PEOPLES TRACT**

LOTS 1-8 BLOCK L;  
15.561 ACRES OR 677,846 SQ. FT.  
8 SINGLE FAMILY LOTS  
SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,  
AND ALL OF TRACT 13 & 25 OF THE  
WILLIAM DALTON SURVEY, ABSTRACT NO. 72  
AND TRACT 4 & 4-01 OF THE  
M.B. JONES SURVEY, ABSTRACT NO. 122  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
P2024-XXX

March 5, 2024  
EXIST. ZONING: PD-93  
LAND USE: SF-1.5  
SHEET 2 OF 2

Owner/Applicant:  
MR JOYCE, LLC  
4416 W. Lovers Ln, Suite 200  
Dallas, Texas 75209  
Phone: 214-577-1431

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East, Suite. 1200  
Plano, Texas 75074  
Phone: 972-201-3100  
Contact: Tom Dayton, PE





**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN AN SINGLE FAMILY ESTATES (SFE) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	SINGLE FAMILY ESTATE DISTRICTS
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Animal Boarding/Kennel with Outside Pens	<a href="#">(2)</a>	<a href="#">(1)</a>	S
Animal Boarding/Kennel without Outside Pens	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Commercial Horse Corral or Stable	<a href="#">(9)</a>	<a href="#">(5)</a>	S
Private Horse Corral or Stable	<a href="#">(10)</a>	<a href="#">(6)</a>	P
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
Wholesale Nursery ( <i>i.e. without Retail Sale On-Site</i> )	<a href="#">(13)</a>		S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Bed and Breakfast	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Residential Garage	<a href="#">(7)</a>	<a href="#">(4) &amp; (5)</a>	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	<a href="#">(8)</a>	<a href="#">(6)</a>	A
Home Occupation	<a href="#">(9)</a>	<a href="#">(7)</a>	P
Portable Building	<a href="#">(15)</a>	<a href="#">(10)</a>	P
Residential Infill in an Established Subdivision	<a href="#">(16)</a>	<a href="#">(11)</a>	S
Single-Family Detached Structure	<a href="#">(18)</a>	<a href="#">(13)</a>	P
Private Swimming Pool	<a href="#">(20)</a>		A
Private Tennis Court	<a href="#">(21)</a>		S
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	S
Group or Community Home	<a href="#">(11)</a>	<a href="#">(5)</a>	P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	S
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	S
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		S
Private Country Club	<a href="#">(5)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	<a href="#">(25)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	<a href="#">(12)</a>	<a href="#">(5)</a>	S

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN AN SINGLE FAMILY ESTATES (SFE) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	SINGLE FAMILY ESTATE DISTRICTS
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	<b>2.02(K)</b>	<b>2.03(K)</b>	
Antenna, as an Accessory	<a href="#">(2)</a>	<a href="#">(1)</a>	S
Antenna, for an Amateur Radio	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Antenna Dish	<a href="#">(5)</a>	<a href="#">(4)</a>	A
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Railroad Yard or Shop	<a href="#">(14)</a>		S
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S
Wireless Communication Tower	<a href="#">(24)</a>		S



SUBSECTION 07.01: RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS

ZONING DISTRICTS → DEVELOPMENT STANDARDS ↓		SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT	SINGLE FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT	SINGLE-FAMILY ESTATE 4.0 (SFE-4.0) DISTRICT	SINGLE-FAMILY 1 (SF-1) DISTRICT	SINGLE-FAMILY 16 (SF-16) DISTRICT	SINGLE-FAMILY 10 (SF-10) DISTRICT	SINGLE-FAMILY 8.4 (SF-8.4) DISTRICT	SINGLE-FAMILY 7 (SF-7) DISTRICT	ZERO LOT LINE (ZL-5) DISTRICT	TWO-FAMILY (2F) DISTRICT	AGRICULTURAL (AG) DISTRICT
ABBREVIATION		SFE-1.5	SFE-2.0	SFE-4.0	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	AG
DWELLING UNITS/LOT		1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	2.0	1.0
DWELLING UNITS/ACRE		0.67	0.5	0.25	1.0 <sup>1</sup>	2.7	4.4	5.2	6.2	8.7	12.4	0.1 <sup>11</sup>
MINIMUM DWELLING UNIT (SF)		2,000	2,200	2,500	2,500	2,400	2,200	1,500	1,100	1,000	800	1,600
MINIMUM LOT REQUIREMENTS	AREA (SQUARE FEET)	65,340	87,120	174,240	8,400	16,000	10,000	8,400	7,000	5,000	7,000	43,560
	WIDTH (FEET) <sup>2</sup>	150	150	200	70	90	80	70	60	50	60	100
	DEPTH (FEET)	250	250	250	100	100	100	100	100	90	100	200
MINIMUM SETBACKS	FRONT (FEET)	50	50	50	20	25	20	20	20	20	20	40
	REAR (FEET)	10	10	10	10	10	10	10	10	10	10	10
	SIDE (FEET) <sup>3</sup>	25	25	25	6	8	6	6	6	0   10 <sup>4</sup>	0 <sup>5</sup>   6 <sup>6</sup>	6
BETWEEN BUILDINGS (FEET)		10	10	10	10	10	10	10	10	10	10	12
BUILDING HEIGHT (FEET)		36	36	36	36	36	36	36	32	30	32	36
MAXIMUM LOT COVERAGE (%)		35	35	35	45	45	45	45	45	50	45	N/A
REQUIRED PARKING SPACES <sup>7</sup>		2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>8</sup>	2 <sup>9</sup>	2 <sup>10</sup>	2 <sup>8</sup>

**ADDITIONAL REQUIREMENTS:**

- 1: THE SINGLE FAMILY 1 (SF-1) DISTRICT ALLOWS FOR ONE (1) UNIT PER GROSS ACRE.
- 2: FRONTAGE ON A PUBLIC STREET
- 3: THE SIDE SETBACK ADJACENT TO A STREET IS TREATED THE SAME AS A FRONT YARD BUILDING SETBACK.
- 4: MINIMUM MAINTENANCE EASEMENT IS TEN (10) FEET. MINIMUM MAINTENANCE EASEMENT ON THE NON-ZERO LOT LINE SIDE, WHEN ADJACENT TO ANOTHER LOT IN THE SAME ZONING DISTRICT IS FIVE (5) FEET (THIS EASEMENT SHALL BE MAINTAINED AS AN OPEN SPACE EXCEPT UPON A FINDING BY THE BUILDING OFFICIAL THAT THE PROPOSED IMPROVEMENTS DO NOT IMPEDE THE USE OF SAID EASEMENT FOR MAINTENANCE OF THE ADJOINING STRUCTURE).
- 5: ABUTTING STRUCTURES SEPARATED BY FIRE RETARDANT WALLS.
- 6: TOWNHOUSES SEPARATED BY FIREWALL MEETING THE REQUIREMENTS OF THE BUILDING CODE MAY BUILD TO THE PROPERTY LINE WHERE SUCH STRUCTURES ABUT.
- 7: MINIMUM LENGTH OF DRIVEWAY PAVEMENT FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD IS 20-FEET.
- 8: AN ENCLOSED GARAGE SHALL NOT BE CONSIDERED IN MEETING THE OFF-STREET PARKING REQUIREMENTS. FOR ALL OTHER USES SEE [ARTICLE 06. PARKING AND LOADING](#).
- 9: A TWO (2) CAR GARAGE IS REQUIRED.
- 10: TWO (2) OFF-STREET PARKING SPACES PLUS ONE (1) GARAGE PARKING SPACE FOR EACH DWELLING UNIT IS REQUIRED.
- 11: A MINIMUM LOT SIZE OF TEN (10) ACRES IS REQUIRED FOR THE CONSTRUCTION OF ANY SINGLE-FAMILY DWELLING.



# 11 NORTHEAST RESIDENTIAL DISTRICT

↑ NORTHERN ESTATES DISTRICT (PAGE 1-24)

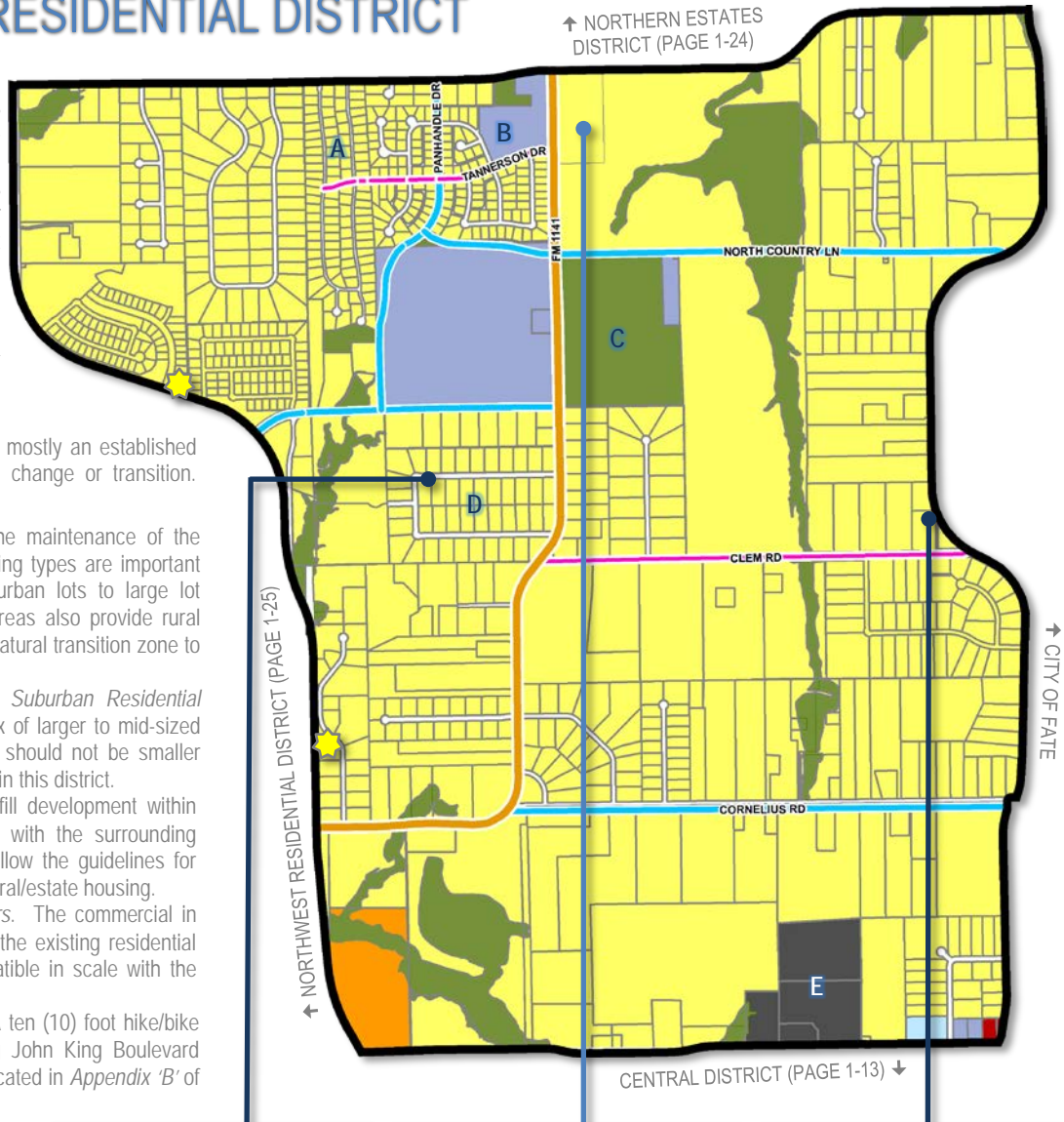
## DISTRICT DESCRIPTION

The *Northeast Residential District* is characterized by its established low-density residential subdivisions and rural/estate style lots. This district is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development. In addition, the City currently owns a large tract of land that will be a northern community park and serve this district in the future.

## DISTRICT STRATEGIES

The *Northeast Residential District* being mostly an established residential district, is not anticipated to change or transition. The strategies for this district are:

- 1 **Estate and Rural Residential.** The maintenance of the *Estate and Rural Residential* housing types are important to balancing the diversity of suburban lots to large lot housing within the City. These areas also provide rural reserves for the City and create a natural transition zone to the east, towards FM-3549.
- 2 **Suburban Residential.** Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district.
- 3 **Infill Development.** Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for low density, suburban housing or rural/estate housing.
- 4 **Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- 5 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



## POINTS OF REFERENCE

- A. Stoney Hollow Subdivision
- B. Celia Hays Elementary School
- C. North Country Lane Park
- D. Saddlebrook Estates Subdivision
- E. Resthaven Funeral Home



2 Current Suburban Residential



2 Future Suburban Residential



1 Current Rural Residential

## LAND USE PALETTES

- Current Land Use
- Future Land Use

★ John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

BUILD OUT 1,964

5,794

% OF ROCKWALL 3.13%

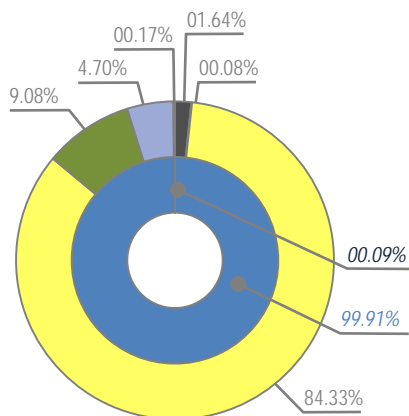
0.99%

3.10%

CURRENT 625

18

1,844



MINOR COLLECTOR	0.00%
M4U	0.01%
M4D	0.01%
COMMERCIAL	0.09%
RESIDENTIAL	99.91%
MIXED USE	0.00%
CEMETERY (CEM)	32.34-ACRES
COMMERCIAL/RETAIL (CR)	1.52-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,658.33-ACRES
PARKS AND OPEN SPACE (OS)	178.54-ACRES
PUBLIC (P)	92.45-ACRES
QUASI-PUBLIC (QP)	3.25-ACRES

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT FOR A 15.561-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF TRACTS 10-02, 10-03, 25-01 & 26 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-01 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family Estate 1.5 (SFE-1.5) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 03.01, *General Residential District Standards* and Section 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning

change, and as maybe amended in the future;

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF MAY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2024

2<sup>nd</sup> Reading: May 6, 2024



**Exhibit 'A'**  
*Legal Description*

**BEING** a tract of land situated in the William Dalton Survey, Abstract Number 72 Rockwall County, Texas and being portions of those tracts of land conveyed to Mike Peoples, according to the documents filed of record in Volume 1679, Page 190, Volume 1679, Page 196, Volume 173, Page 752 and Volume 184, Page 522, Deed Records Rockwall County, Texas (D.R.R.C. T.) and being more particularly described as follows:

**BEGINNING** at a point for the northeast corner of that tract of land conveyed to the City of Rockwall, Texas according to the document filed of record in Volume 58, Page 191, (D.R.R.C. T.) same being the northwest corner of the tract of land described herein;

**THENCE**, North 89 degrees 31 minutes 25 seconds East, a distance of 485.01-feet to a point for a corner of this tract;

**THENCE**, North 00 degrees 28 minutes 35 seconds West, a distance of 10.64-feet to a point for a corner of this tract;

**THENCE**, North 89 degrees 17 minutes 06 seconds East, a distance of 1,058.46-feet to a point for the northwest corner of that tract of land conveyed to Donnie Peoples according to the document filed of record in Volume 188, Page 357 (D.R.R.C. T.) and being the common northeast corner of this tract;

**THENCE**, South 00 degrees 32 minutes 31 seconds East, with the west line of said Donnie Peoples tract, same being common with the east line of this tract, a distance of 458.47-feet to a point for the southeast corner of this tract;

**THENCE**, South 89 degrees 27 minutes 29 seconds West, leaving said common line, a distance of 1,265.98-feet to a point for a corner of this tract and being the beginning of a curve to the right, having a central angle of 49° 15' 27", a radius of 150.00-feet, and a long chord bearing and distance of North 65 degrees 54 minutes 48 seconds West, 125.02-feet;

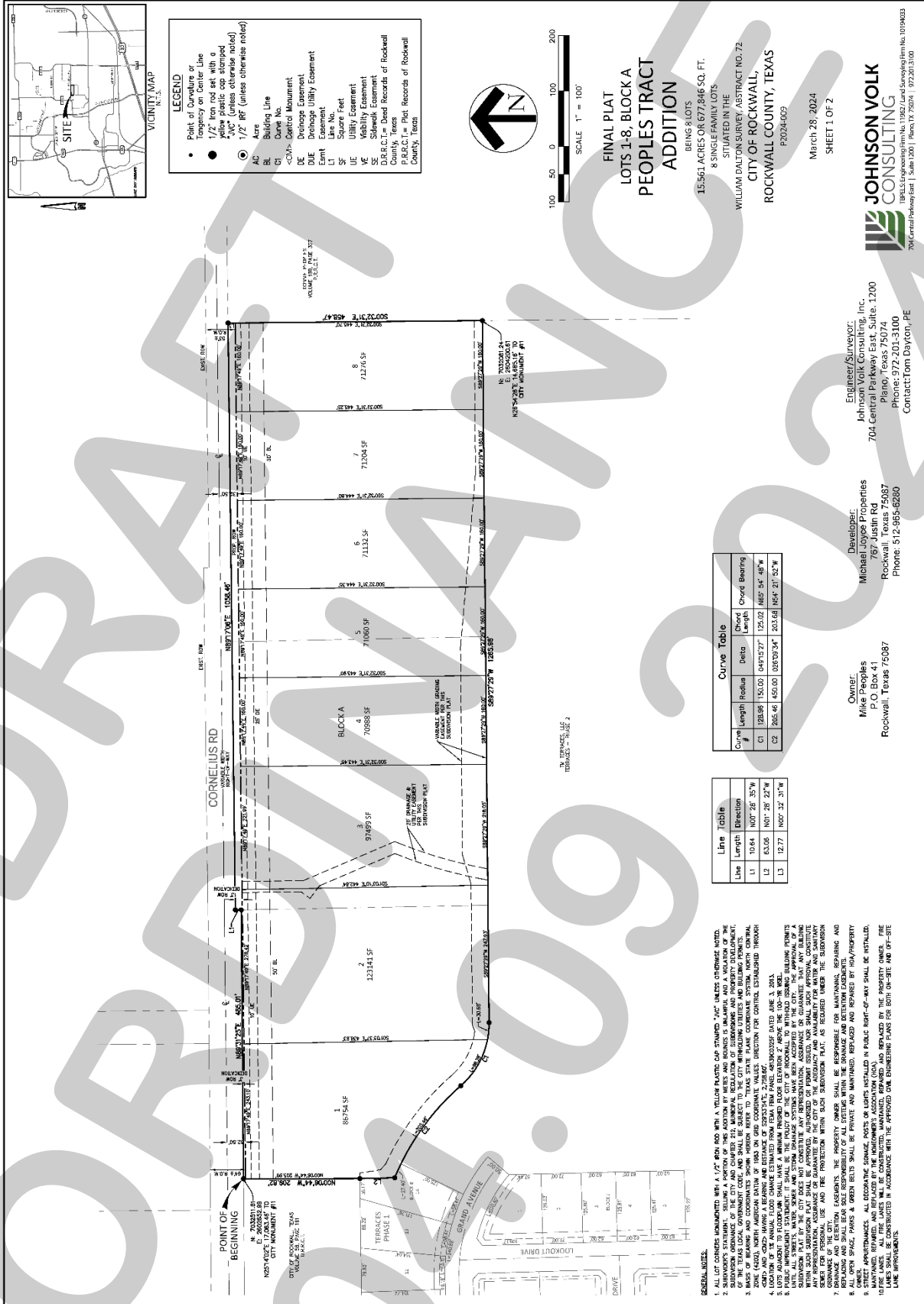
**THENCE**, with said curve to the right an arc distance of 128.96-feet to a point for a corner of this tract and the beginning of a non-tangent curve to the left, having a central angle of 26° 09' 34", a radius of 450.00-feet, and a long chord bearing and distance of North 54 degrees 21 minutes 52 seconds West, 203.68-feet;

**THENCE**, with said curve to the left an arc distance of 205.46-feet to a point in the east line of Terraces Phase One, an addition to the City of Rockwall, Rockwall County, Texas according to the plat filed of record in *Document Number 2024000000459 Plat Records* Rockwall County, Texas for the most westerly southwest corner of this tract;

**THENCE**, North 01 degrees 28 minutes 22 seconds West, with said east line, a distance of 63.06-feet to a point for the northeast corner of said addition, same being the common southeast corner of the above-mentioned City of Rockwall tract and a common corner of this tract;

**THENCE** North 00 degrees 06 minutes 44 seconds West, with the east line of said City of Rockwall tract and common west line of this tract, a distance of 209.82-feet to the **POINT OF BEGINNING** and containing 677,846 square feet or 15.561-acres of land.

# Exhibit 'B' Survey









# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Bethany Ross, *Planner*  
**DATE:** April 9, 2024  
**SUBJECT:** SP2024-009; *Amended Site Plan for 1775 SH-276*

---

The applicant, Justin Toon of Industrial Reserve, is requesting the approval of an *Amended Site Plan* for the purpose of requesting a variance to the berm requirement along SH-276. The subject property is an 18.48-acre parcel of land located at 1775 SH-276, zoned Light Industrial (LI) District, and situated within the SH-276 Overlay (SH-276 OV) District. On July 26, 2022, the Planning and Zoning Commission approved a site plan [Case No. SP2022-037] allowing the construction of a *Warehouse/Distribution Center* consisting of two (2) buildings (*i.e. a 163,500 SF building and a 121,680 SF building*) on the subject property. On March 15, 2024, the applicant submitted an application for an amended site plan detailing an alternative to the required berm along SH-276.

According to Subsection 06.06, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “...(a)ll landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the *Primary Roadway*.” In this case, the elevation of the parking lot adjacent to SH-276 is an average of seven (7) foot lower than the elevation of SH-276. Subsection 09, *Exceptions and Variances*, of the Unified Development Code (UDC) does grant the Planning and Zoning Commission the ability to grant exceptions and variances where “...strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” Typically, the code requires that variances and exceptions be supported by a minimum of two (2) compensatory measures that directly off-set the impact of the proposed variance. In this case, the applicant is proposing that in lieu of the berm, the current conditions of the site will meet the intent of the requirement for a berm and is not proposing any additional compensatory measures. It should be noted that in conjunction with the previously approved site plan, the applicant has provided six (6) compensatory measures for the six (6) variances approved. These compensatory measures are [1] increased six (6) inch caliper trees along SH-276, [2] increased six (6) inch caliper trees along Discovery Boulevard, [3] a 20-foot landscape buffer along Discovery Boulevard in lieu of the required ten (10) foot landscape buffer, [4] a total landscaped area that exceeds the minimum requirements, [5] additional storefront windows/glass entrance doors in two (2) locations along the front façade, and [6] an additional architectural element over what is required. With this being said, requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff and the applicant will be available at the April 9, 2024 Planning and Zoning Commission meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1775 State Highway 276, Rockwall, TX 75032**

SUBDIVISION **Revelation** LOT **1** BLOCK **1**

GENERAL LOCATION **Tract East of John King Blvd. between Discovery Blvd. & State Highway 276**

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Light Industrial** CURRENT USE **Light Industrial**

PROPOSED ZONING **Light Industrial** PROPOSED USE **Light Industrial**

ACREAGE **18.48** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Reserve Capital - Rockwall Industrial SPE LLC**  APPLICANT **Industrial Reserve**

CONTACT PERSON **Justin Toon** CONTACT PERSON **Justin Toon**

ADDRESS **15110 Dallas Pkwy** ADDRESS **15110 Dallas Pkwy**

**P O Box 670551** **P O Box 670551**

CITY, STATE & ZIP **Dallas, TX 75367** CITY, STATE & ZIP **Dallas, TX 75367**

PHONE **214-577-6789** PHONE **214-577-6789**

E-MAIL **justin@industrialreserve.net** E-MAIL **justin@industrialreserve.net**

### NOTARY VERIFICATION [REQUIRED]

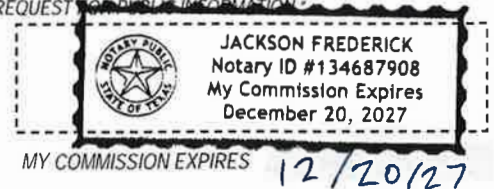
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Justin Toon [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

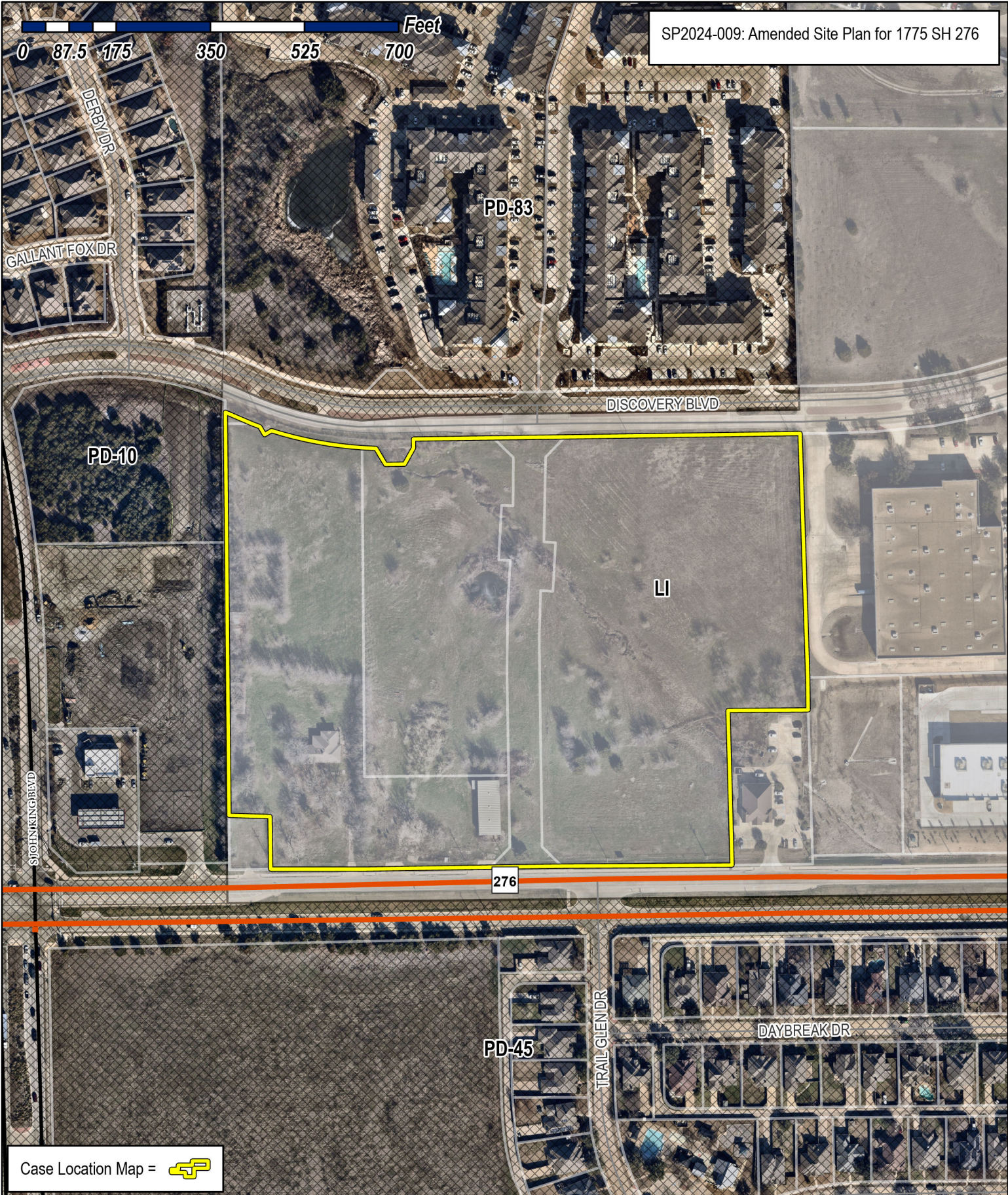
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF March, 2024

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







March 15, 2024  
AVO 53955

City of Rockwall Planning and Zoning  
385 S Goliad St  
Rockwall, TX 75087

RE: VARIANCE REQUEST: Industrial Reserve Discovery Rockwall  
Rockwall, TX

Dear reviewer,

Industrial Reserve would like to request a variance to the minimum ground cover requirements within landscape buffers adjacent to Primary Roadways and specific to the SH-276 Overlay District, as detailed in Subsection 06.02 (E) of the *City of Rockwall Unified Development Code*. The Unified Development Code requires a built-up berm and shrubbery, or combination thereof, along the length of the frontage where the berm is 30 – 48 inches in height as measured from the primary roadway elevation. Based on our interpretation of the code requirements we believe that the intent and purpose of the required ground cover screening can be met with an alternative landscaping layout that still provides the required shrubbery and trees but eliminates the built-up berm. Below are key points to the proposed site conditions and proposed justification to providing the variance as requested.

Proposed Site Conditions:

- 1) Please refer to the included amended "Site Plan".
- 2) The car parking for this proposed site development is several feet lower in elevation when compared to the existing primary roadway (SH-276). The parking is on average about 5.5 ft lower than SH-276. Due to this height difference, providing a minimum 30-inch-tall berm along the frontage road creates the need to add over 400 ft of retaining wall that averages 7 ft in height. The additional height difference created by the berm and limited space to make up the grades is what drives the need for the wall.
- 3) The reason the car parking sits several feet lower than SH-276 is due to grading requirements of the intended site layout and the intent to provide a balanced site for dirt import/export.

Proposed Variance

- 1) Please refer to the included attachment labeled "TX 276 SECTION DETAIL".
- 2) The proposed variance to the code requirement is to eliminate the built-up berm. The shrubbery and trees would still be provided as required. It is our interpretation of the code that the landscape berm provides ground cover for both screening and aesthetic purposes. The requirement as detailed within the code has a more practical application to sites that are at or above the adjacent roadway elevation. This site sits several feet below and per this site's conditions, we believe the intent of the requirement can be met without the berm.
- 3) Any vehicles navigating within this site's car parking and facing towards SH-276 would have their headlights screened with the over 5 ft elevation difference between the car parking and the public roadway. This elevation difference is already greater than the 30-inch berm height denoted in the code requirement and thus already provides more screening than is needed. The addition of the 30" berm does not increase the functionality for the screening intent as over 30" of screening are already being provided.

If you have any questions or need any additional information, please call me at your convenience 214-217-6622.

Sincerely,

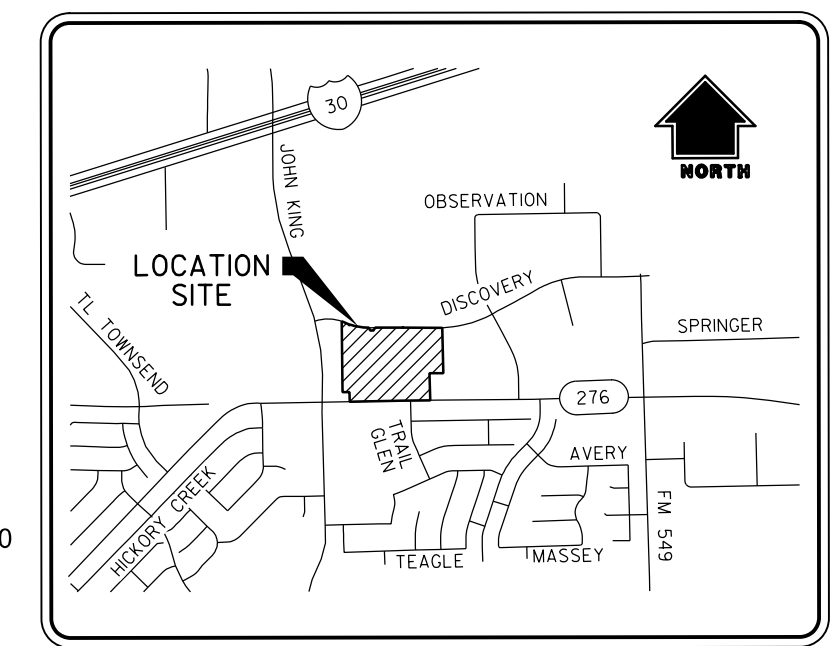
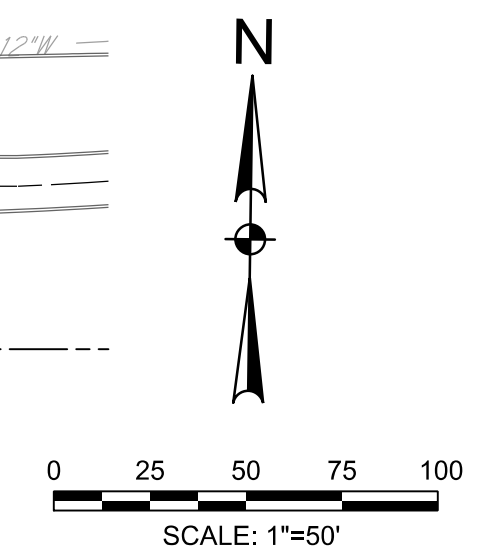
HALFF

A handwritten signature in blue ink that reads "Jose L. Garcia, PE".

Jose Garcia, PE



**DISCOVERY BLVD.  
(85' R.O.W. WIDTH)**



**SITE DATA:**

CURRENT ZONING:	(LI) LIGHT INDUSTRIAL
PROPOSED LAND USE:	Light Industrial
TOTAL SITE AREA:	18.48 AC. (816,195 SF)
<b>SITE AREAS:</b>	
BUILDING:	284,155 SF
PAVING:	317,520 SF
LANDSCAPE:	214,520 SF
DETENTION AREA:	58,569 SF
<b>PARKING:</b>	
WAREHOUSE (1:1000 SF)(262155 sf)	263.00 SPACES
OFFICE (1 SPACE/300 SF)(22,000 sf):	74.00 SPACES
TOTAL REQUIRED:	337 SPACES
PROVIDED:	337 SPACES
ACCESSIBLE SPACES PROVIDED:	12 SPACES
*SPACES ARE INCLUDED IN TOTAL ABOVE	

NOTES:  
1. ALL EXISTING ON-SITE APPURTENANCES ARE TO BE DEMOED PRIOR TO CONSTRUCTION  
2. ALL BARB WIRE FENCE SHALL BE DEMOED.

**PAVING LEGEND**

	8" THICK, 3,600 PSI CONCRETE PAVEMENT WITH #4 BARS AT 18" O.C.E.W. OVER LIME STABILIZED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	6" THICK, 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS AT 18" O.C.E.W. OVER LIME STABILIZED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	7" THICK, 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS AT 18" O.C.E.W. OVER LIME STABILIZED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	5" THICK, 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS AT 24" O.C.E.W. OVER LIME STABILIZED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	4" THICK, 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS AT 24" O.C.E.W. OVER LIME STABILIZED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS

**LEGEND**

	PROPERTY LINE
	LOT LINE
	EASEMENT LINE
	EXISTING CONTOUR
	EXISTING FENCE
	EXISTING WATER LINE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WASTEWATER LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM SEWER
	EXISTING FIBER OPTIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING POWER POLE

**INDUSTRIAL RESERVE  
DISCOVERY  
1775 STATE HIGHWAY 276,  
ROCKWALL, TEXAS**

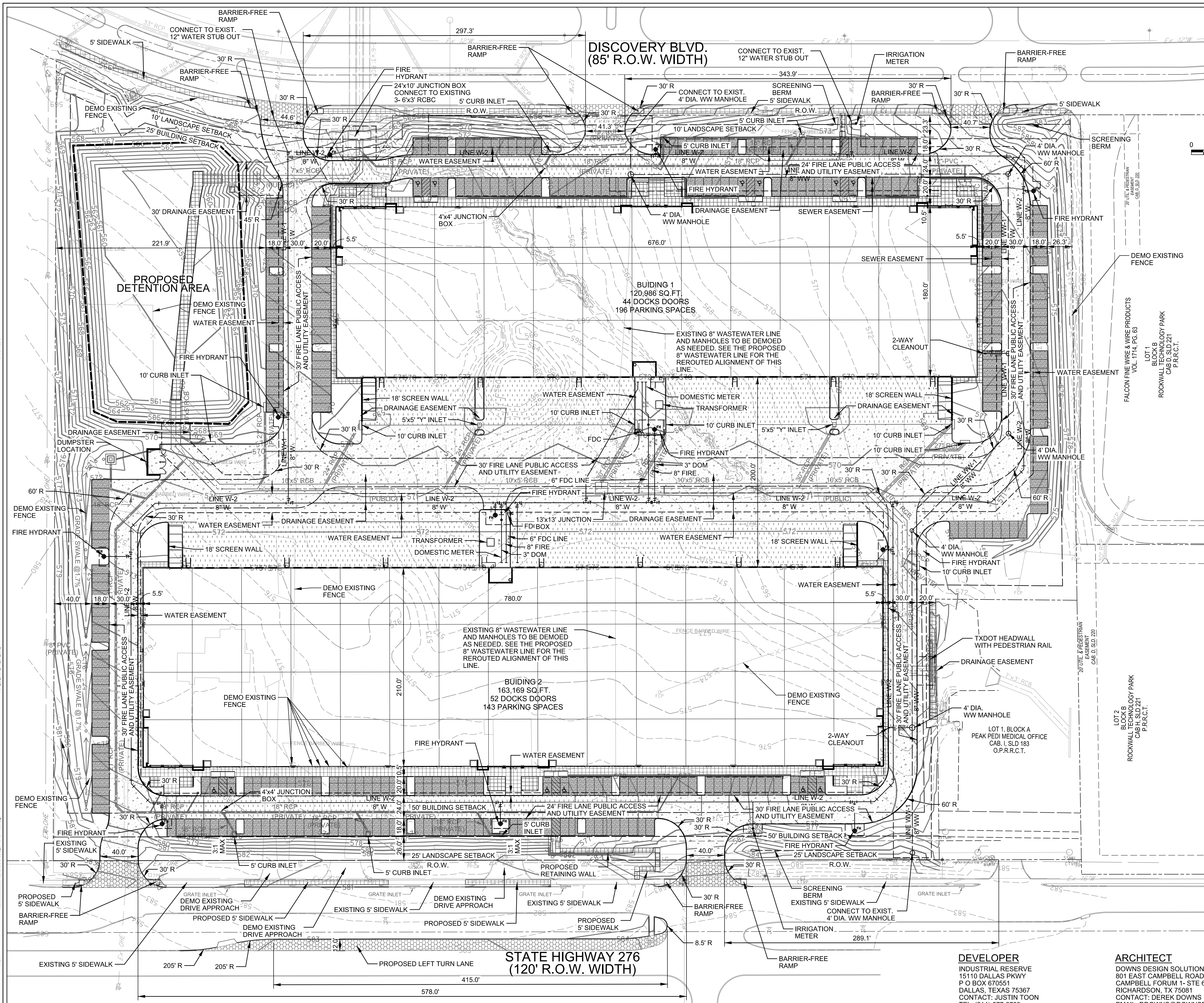


Revision No.	Date	Description

**PRELIMINARY**  
FOR INTERIM REVIEW ONLY  
THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:  
MATTHEW J. GARDNER 130796 P.E. NO.  
NAME MARCH, 2024  
DATE 3/15/2024  
DATE TBPE FIRM # F-312

Project No.:	53955
Issued:	MARCH, 2024
Drawn By:	CAD
Checked By:	MJG
Scale:	AS SHOWN
Sheet Title	SITE PLAN
Sheet Number	SP1.01

CASE NUMBER: SPXXXX-XXX



APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.  
WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.  
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**DEVELOPER**  
INDUSTRIAL RESERVE  
15110 DALLAS PKWY  
P O BOX 670551  
DALLAS, TEXAS 75367  
CONTACT: JUSTIN TOON  
TEL: (214)-577-6789

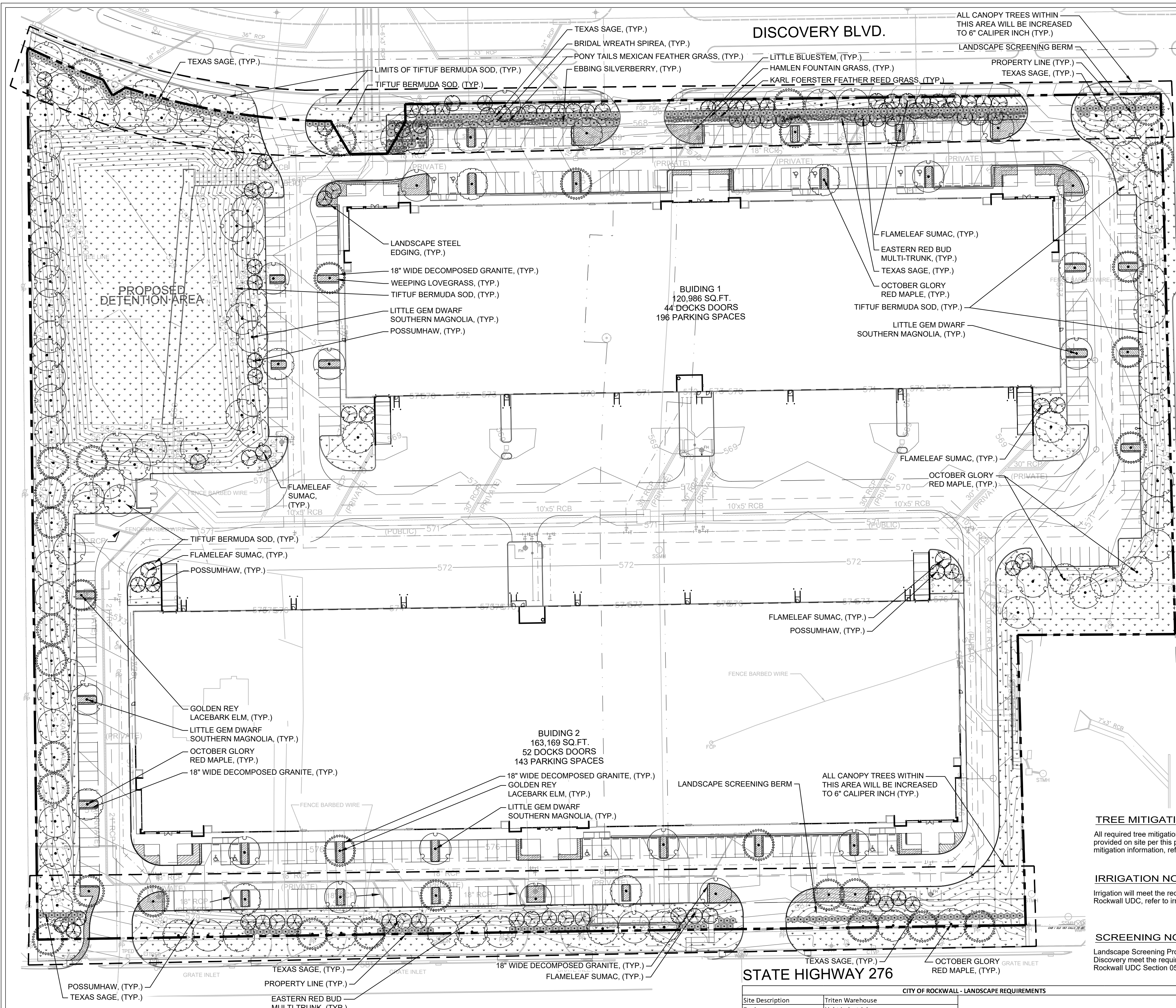
**ENGINEER**  
HALFF ASSOCIATES, INC.  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX. 75081  
CONTACT: MATTHEW J. GARDNER  
EMAIL: M.GARDNER@HALFF.COM  
TEL: (214) 346-6200  
TBPE FIRM# F-312

**ARCHITECT**  
DOWNS DESIGN SOLUTIONS, LLC  
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CAMPBELL FORUM 1- STE 600  
RICHARDSON, TX 75081  
CONTACT: JAMES KINDRED  
EMAIL: J.KINDRED@DOWNSDESIGN.COM  
TEL: (214) 724-6656

**LANDSCAPE**  
HALFF ASSOCIATES, INC.  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081  
CONTACT: JAMES KINDRED  
EMAIL: J.KINDRED@HALFF.COM  
TEL: (214) 346-6200  
TBPE FIRM# F-312

**INDUSTRIAL RESERVE  
DISCOVERY  
SITE PLAN  
REVELATION  
LOT 1, BLOCK 1  
BEING AN  
18.480 ACRES  
ADDITION TO THE  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
SITUATED IN THE  
JAMES M. ALLEN SURVEY,  
ABSTRACT NO. 2**





**LANDSCAPE REQUIREMENTS for the City of Rockwall, TX**

**ARTICLE 08: LANDSCAPE AND FENCE STANDARDS**

**SECTION 05: LANDSCAPE STANDARDS**

**SUBSECTION 05.01: LANDSCAPE BUFFERS**

The minimum requirements for landscape buffers shall be as follows:

(B) **Non-Residential Landscape Buffers** (see Figure 3: Commercial Landscape Buffers Example)

(1) **Abutting a Public Right-of-Way**. A minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way (i.e. collector street, arterial roadway, or alleyway) or a residentially zoned or used property that is located directly across a public street (regardless of the size of the street). All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency. Clustering of trees shall be permitted as long as all required trees are situated within the landscape buffer.

**SUBSECTION 05.02: LANDSCAPE SCREENING**

(A) **Loading Docks and Outside Storage Areas**. Off-street loading docks and outside storage areas shall be screened from all public streets, open space, adjacent properties and any residential zoning districts or residentially used properties that abut or are directly across a public street or alley from the loading dock or outside storage area in accordance with the requirements of Subsection 01.05, Screening Standards, of Article 05, District Development Standards (Screening Wall with Canopy Trees every 20' o.c.).

(C) **Headlight Screening**. Head-in parking adjacent to a street shall incorporate one (1) of the following screening methods to mitigate the potential hazard that headlights may pose for on-street vehicular traffic:

(1) **Alternative #1**. A minimum of a two (2) foot berm with mature evergreen shrubs along the entire adjacency of the parking area.

(2) **Alternative #2**. A wrought iron fence with a mix of two (2) rows of staggered mature evergreen trees and one (1) row of deciduous canopy trees (a minimum six (6) caliper inches) along the entire length of the adjacency. All trees will be planted on 20-foot centers.

**SUBSECTION 05.03: LANDSCAPE REQUIREMENTS**

(A) **Amount of Landscaping**. The following landscaping percentages shall be required and shall apply to the total site area to be developed: **Light Industrial (LI) District - Required Landscaping 15%**.

(B) **Location of Landscaping**. A minimum of 100% of the total required landscaping shall be located in front of and along the side of buildings with street frontages in the Heavy Commercial (HC), Light Industrial (LI), and Heavy Industrial (HI) Districts.

(E) **Parking Lot Landscaping**. The following landscape requirements will apply to parking lots:

(1) Parking lots with more than two (2) rows of parking spaces (i.e. one (1) drive aisle with rows of parking on either side) shall have a minimum of five (5) percent or 200 SF of landscaping - whichever is greater - in the interior of the parking lot area. Such landscaping shall be counted toward the total required landscaping.

(2) If the parking and maneuvering space exceeds 20,000 SF, one (1) large canopy tree for every ten (10) parking spaces shall be required to be planted internal to the parking areas.

(3) No tree shall be planted closer than five (5) feet to the edge of pavement or five (5) feet from any water or wastewater line that is less than 12-inches. Water and wastewater lines that are 12-inches and greater require trees to be planted a minimum of ten (10) feet from the centerline of the pipe.

(4) No required parking spaces may be located more than 80-feet from the trunk of a canopy tree.

(G) **Landscaping in Landscape Buffers and Public Right-of-Way**. All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod - hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO). In addition, it shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass placed in public right-of-way is watered and maintained, and to ensure that minimal water will be shed on to the street. The designer of the irrigation system shall base the systems design on the ultimate proposed width of the street. The plans for design of the irrigation system shall be approved by the Building Inspections Department prior to installation and acceptance of the project.

**INDUSTRIAL RESERVE  
DISCOVERY  
1775 STATE HIGHWAY 276,  
ROCKWALL, TEXAS**



**LEGEND**

ORNAMENTAL TREES	COMMON / BOTANICAL NAME
	Eastern Redbud Multi-trunk / <i>Cercis canadensis</i>
	Possumhaw / <i>Ilex decidua</i>
	Flameleaf Sumac / <i>Rhus Laneolata</i>
SHADE TREE	COMMON / BOTANICAL NAME
	October Glory Red Maple / <i>Acer rubrum</i> 'October Glory'
	Little Gem Dwarf Southern Magnolia / <i>Magnolia grandiflora</i> 'Little Gem'
	Golden Rey Lacebark Elm / <i>Ulmus parvifolia</i> 'Golden Rey'
SHRUBS	COMMON / BOTANICAL NAME
	Ebbing Silverberry / <i>Elaeagnus x ebbingei</i>
	Texas Sage / <i>Leucophyllum frutescens</i>
	Bridal Wreath Spirea / <i>Spiraea prunifolia</i> 'Bridalwreath'
ORNAMENTAL GRASSES	COMMON / BOTANICAL NAME
	Karl Foerster Feather Reed Grass / <i>Calamagrostis x acutiflora</i> 'Karl Foerster'
	Hamelin Fountain Grass / <i>Pennisetum alopecuroides</i> 'Hamelin'
	Little Bluestem / <i>Schizachyrium scoparium</i>
	Pony Tails Mexican Feather Grass / <i>Stipa tenuissima</i> 'Pony Tails'
GROUND COVERS	COMMON / BOTANICAL NAME
	Tifuf Bermuda Grass / <i>Cynodon dactylon</i> (L.) Pers. x <i>Cynodon dactylon</i> Burt Davy
	Weeping Lovegrass / <i>Eragrostis curvula</i>
MISCELLANEOUS	COMMON / BOTANICAL NAME
	Decomposed Granite / Native decompsed granite
	Landscape Steel Edging

**TREE MITIGATION NOTE:**  
All required tree mitigation (460 cal. inches) will be provided on site per this plan. For additional tree mitigation information, refer to Sheets C0.05 - C0.06.

**IRRIGATION NOTE:**  
Irrigation will meet the requirements of the City of Rockwall UDC, refer to irrigation notes on L.01

**SCREENING NOTE:**  
Landscape Screening Provided along SH 276 and Discovery meet the requirements of the City of Rockwall UDC Section 05, Subsection 05.01 (B) (1)

**CITY OF ROCKWALL - LANDSCAPE REQUIREMENTS**

Site Description	Triten Warehouse			
Zoning	Light Industrial			
Total Site Area	816,195 S.F.			
Building Area	284,480 S.F.			
Vehicular Paving Area	316,744 S.F.			
Total Landscape Area	214,520 S.F.			
REQUIREMENTS	Required	Provided	Comments	
<b>Required Landscape Area:</b>	Minimum Landscape Area - 15% (816,195 SF x .015 = 122,429 SF)	122,429 S.F. (15%)	214,520 S.F. (26.6%)	
<b>Landscape Buffers:</b>	10' wide min. Discovery Blvd. (1,075 LF.) 50' wide min. SH 276 (934 LF.)	10' - Discovery Blvd. 50' - SH 276	20' - Discovery Blvd. 25' - SH 276 per variance	
<b>Buffer Requirements:</b>	DISCOVERY: (1) Canopy Tree & (1) Accent Tree per 50 LF of Frontage (1,075 LF / 50 = 17 ea. Canopy / Accent Trees) SH 276: (2) Canopy Trees & (4) Accent Trees per 100 LF of Frontage (934 LF / 100 = 18 Canopy & 36 Accent Trees)	22 Canopy Trees 22 Accent Trees 18 Canopy Trees 36 Accent Trees	22 Canopy Trees (6" Cal.) 45 Accent Trees (3" Cal.) 18 Canopy Trees (6" Cal.) 36 Accent Trees (3" Cal.)	Some canopy trees planted internal to site due to utility conflicts and site constraints.
<b>Detention Pond Requirements:</b>	(1) Canopy Tree per 750 SF & (1) Accent Tree per 1500 SF (58,569 SF)	78 Canopy Trees 39 Accent Trees	78 Canopy Trees 12 Accent Trees	Some Canopy / Accent trees are placed along west & east property boundaries and along Discovery Blvd. to meet requirement.
<b>Parking Landscape:</b>	(1) Large Canopy Tree Per Each (10) Ten Parking Spaces (337 Spaces / 10 = 34 TREES)	34 Canopy Trees	37 Canopy Trees	No space to be more than 80' from the trunk of Canopy Tree

**1 OVERALL LANDSCAPE PLAN**  
SCALE: 1" = 50'-0"

**SITE DATA:**

CURRENT ZONING:	(LI) LIGHT INDUSTRIAL
PROPOSED LAND USE:	LIGHT INDUSTRIAL
TOTAL SITE AREA:	18.48 AC. (816,195 SF)
<b>SITE AREAS:</b>	
BUILDING:	284,155 SF
PAVING:	317,520 SF
LANDSCAPE:	214,520 SF
DETENTION POND:	58,569 SF
<b>PARKING REQUIRED:</b>	
WAREHOUSE:	263.00 SPACES
OFFICE:	74.00 SPACES
TOTAL REQUIRED:	337 SPACES
<b>PROVIDED:</b>	337 SPACES
<b>ACCESSIBLE SPACES PROVIDED:</b>	12 SPACES
*SPACES ARE INCLUDED IN TOTAL ABOVE	

Revision No.	Date	Description

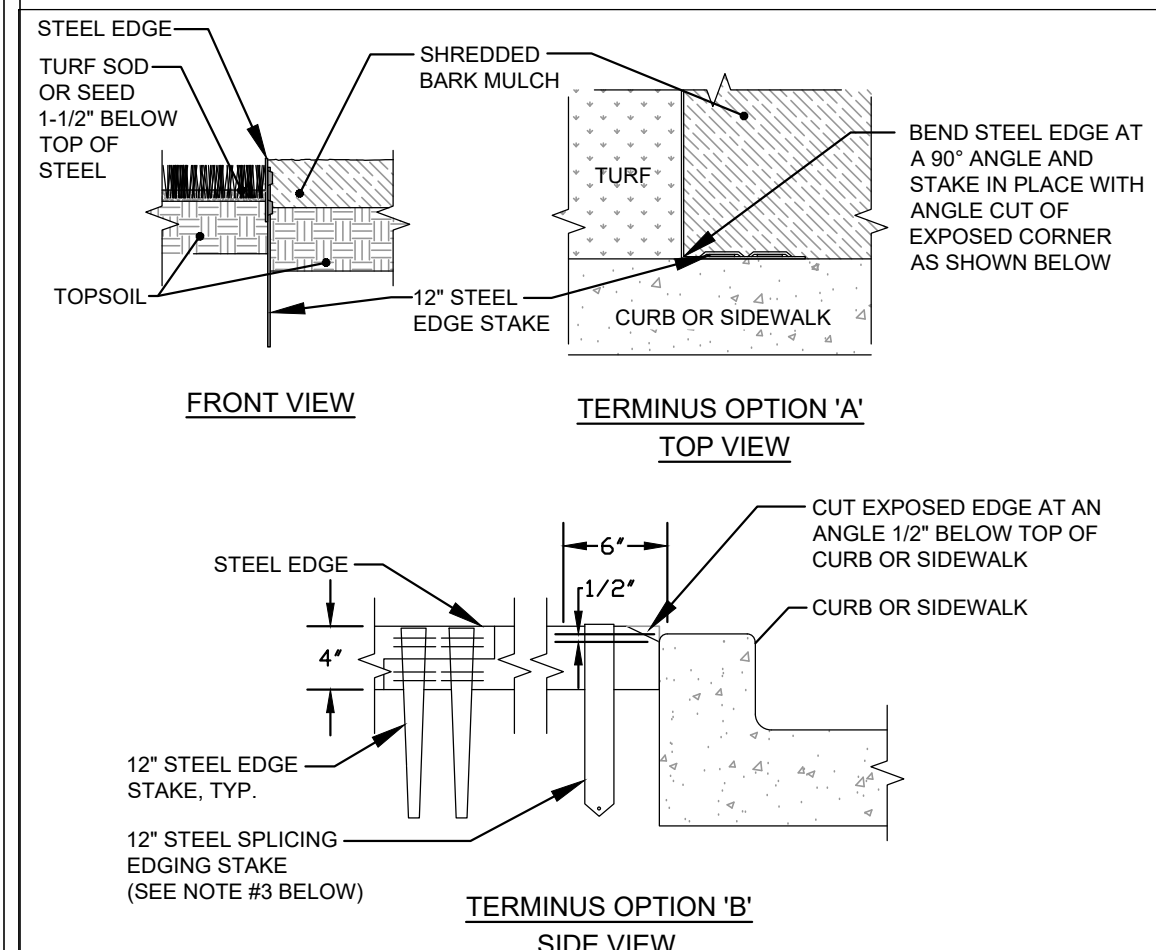
**PRELIMINARY FOR INTERIM REVIEW ONLY**

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:

JAMES R. KINDRED 2255  
NAME: R.L.A. NO.  
DATE: 03/15/2024

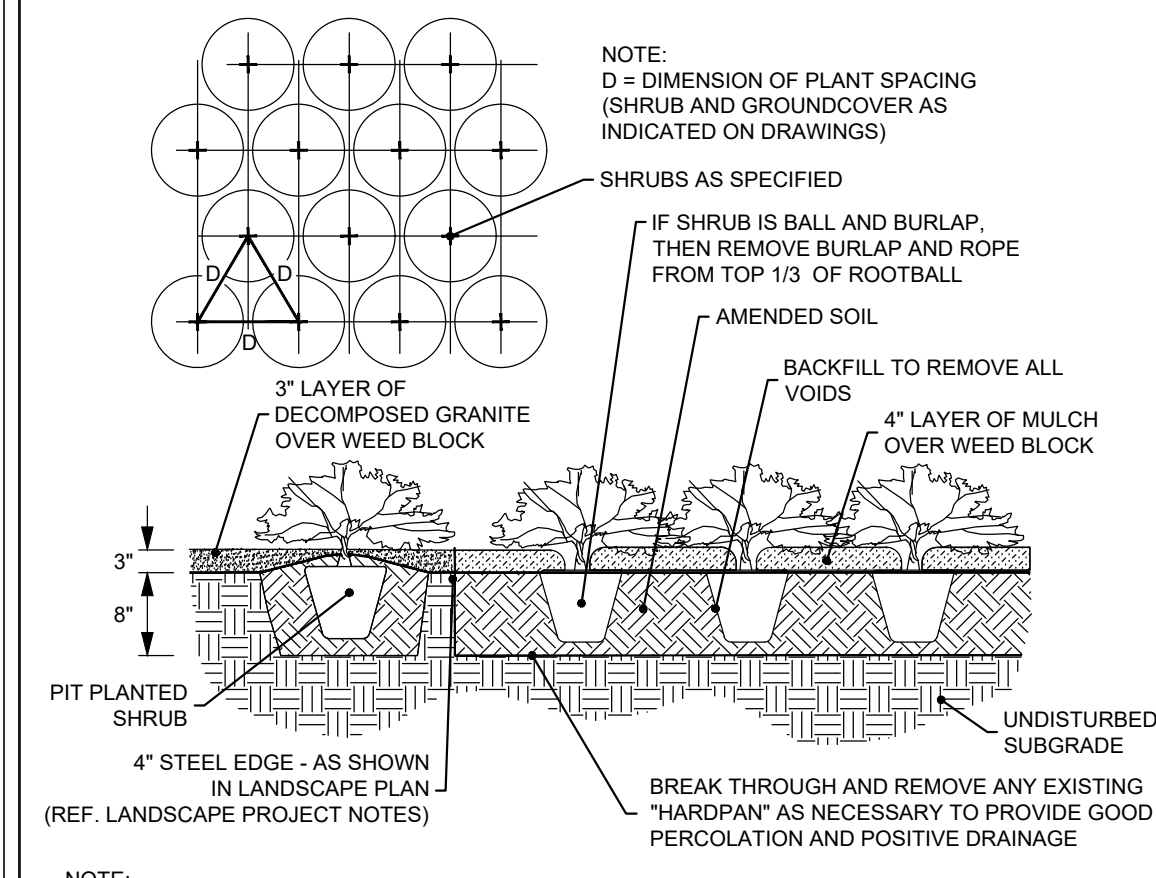
Project No.: 46587  
Issued: MARCH, 2024  
Drawn By: CP  
Checked By: JRK  
Scale: AS SHOWN  
Sheet Title: LANDSCAPE PLAN  
L1.00  
Sheet Number





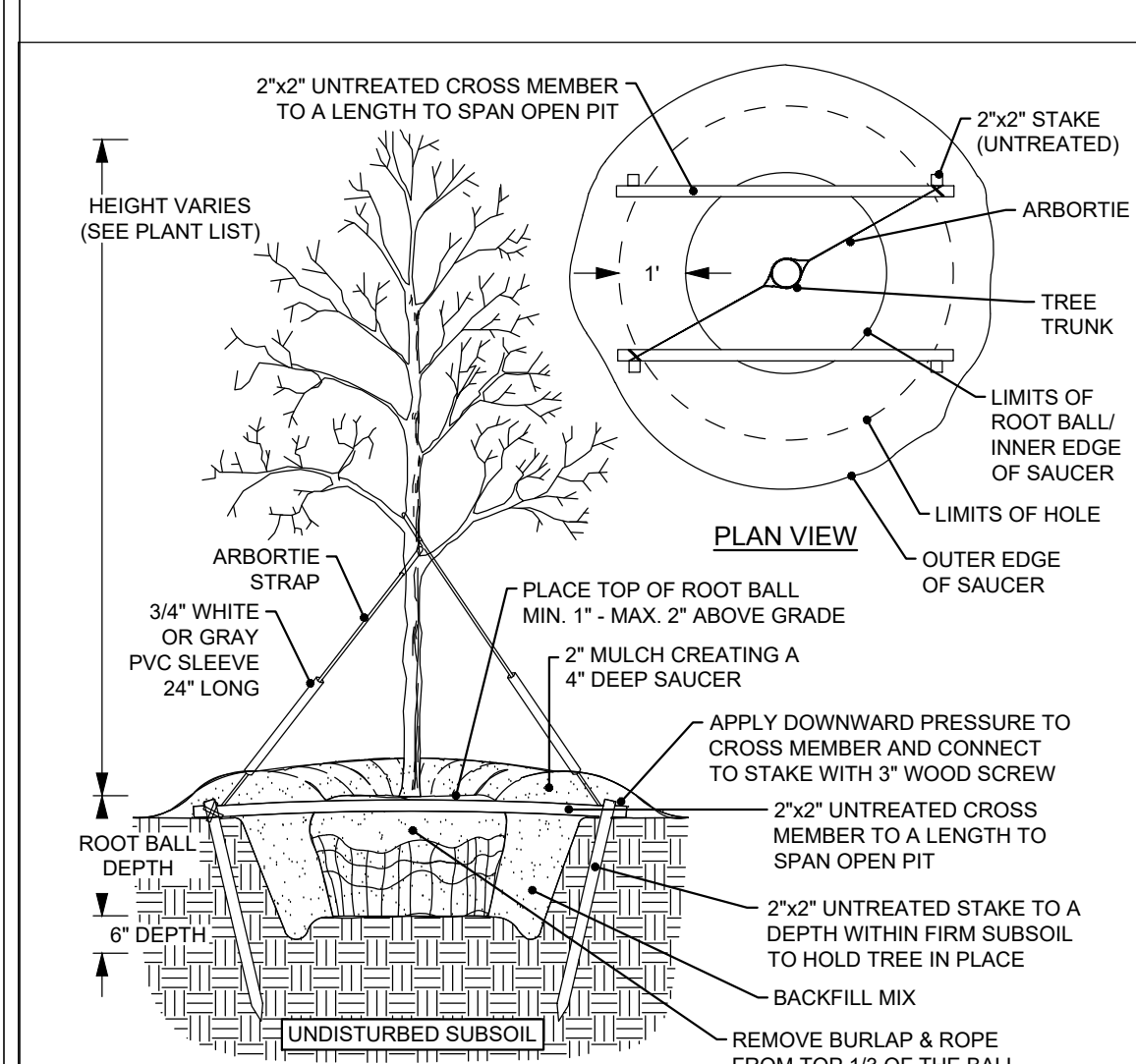
- NOTES:**
- INSTALL STEEL EDGING TO UTILIZE FULL SECTIONS UNLESS CONTROLLED OTHERWISE WITH PLAN SHEET DIMENSIONS.
  - CUT STEEL EDGING AT AN ANGLE TO ACHIEVE A FINISHED STEEL EDGE HEIGHT OF 1/2" BELOW THE TOP OF ADJACENT HARDSCAPE.
  - IF STAKING IS NOT AVAILABLE WITHIN 12" OF THE EDGING TERMINATION, INSTALL A SPLICING EDGING STAKE WITHIN 6" OF THE TERMINATING EDGE AS SHOWN WITH OPTION 'B'.
  - WHERE POSSIBLE, EDGE TERMINATION SHALL BE INSTALLED AS SHOWN IN TERMINUS OPTION 'A'.

**STEEL EDGE TERMINATION** N.T.S.



- NOTE:**
- SEE LANDSCAPE NOTES FOR THE TYPE OF WEED BLOCK AND MULCH MATERIAL TO USE.
  - OMIT WEED BLOCK WHEN PLANT SPACING IS 16" O.C. OR LESS.

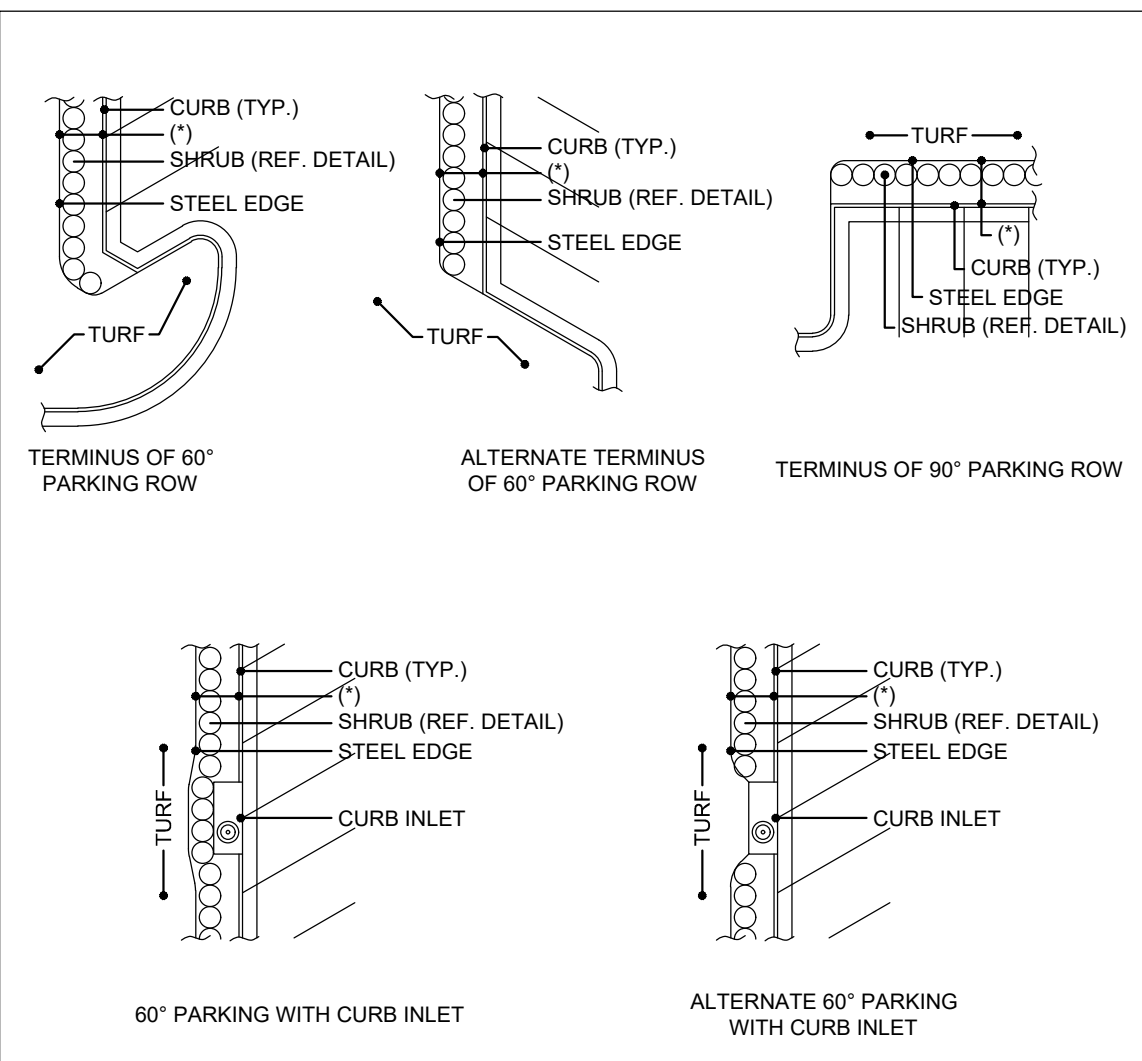
**SHRUB PLANTING AND SPACING** N.T.S.



- NOTE:**
- ARBORTIE SHOULD ONLY BE USED AS A REMEDIAL MEANS TO PLUMB A TREE WHEN THE PRIMARY BELOW GRADE STAKING CAN NO LONGER BE ADJUSTED EFFECTIVELY AND CONDITIONS ARE WARRANTED BY THE LANDSCAPE ARCHITECT.
  - SEE LANDSCAPE NOTES FOR THE TYPE OF WEED BLOCK AND MULCH MATERIAL TO USE.

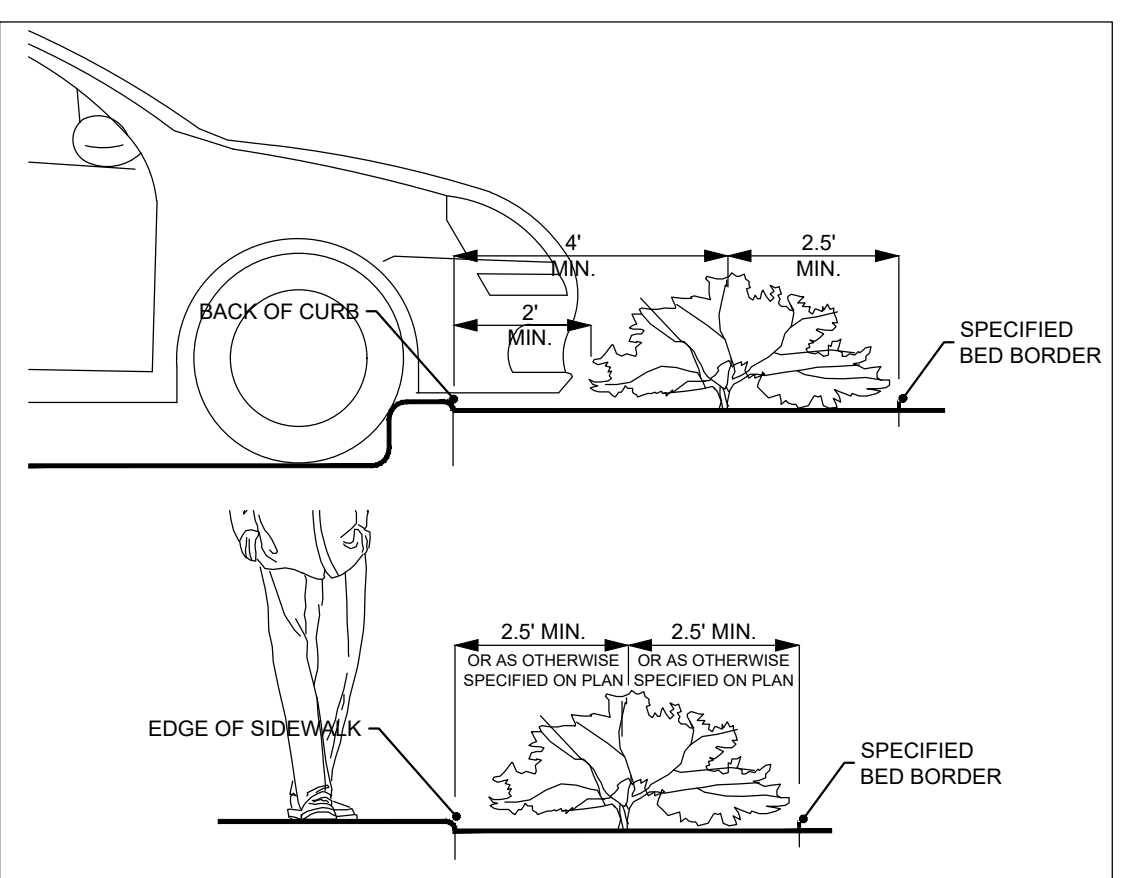
**TREE PLANTING** N.T.S.

\*FOR ALL MAPLE TREE INSTALLATIONS: WRAP TRUNKS WITH A BURLAP TREE BARK WRAP TO PREVENT SUN SCALD. WRAP IS TO REMAIN IN PLACE FOR A MINIMUM OF 12 MONTHS AND A MAXIMUM OF 24 MONTHS.



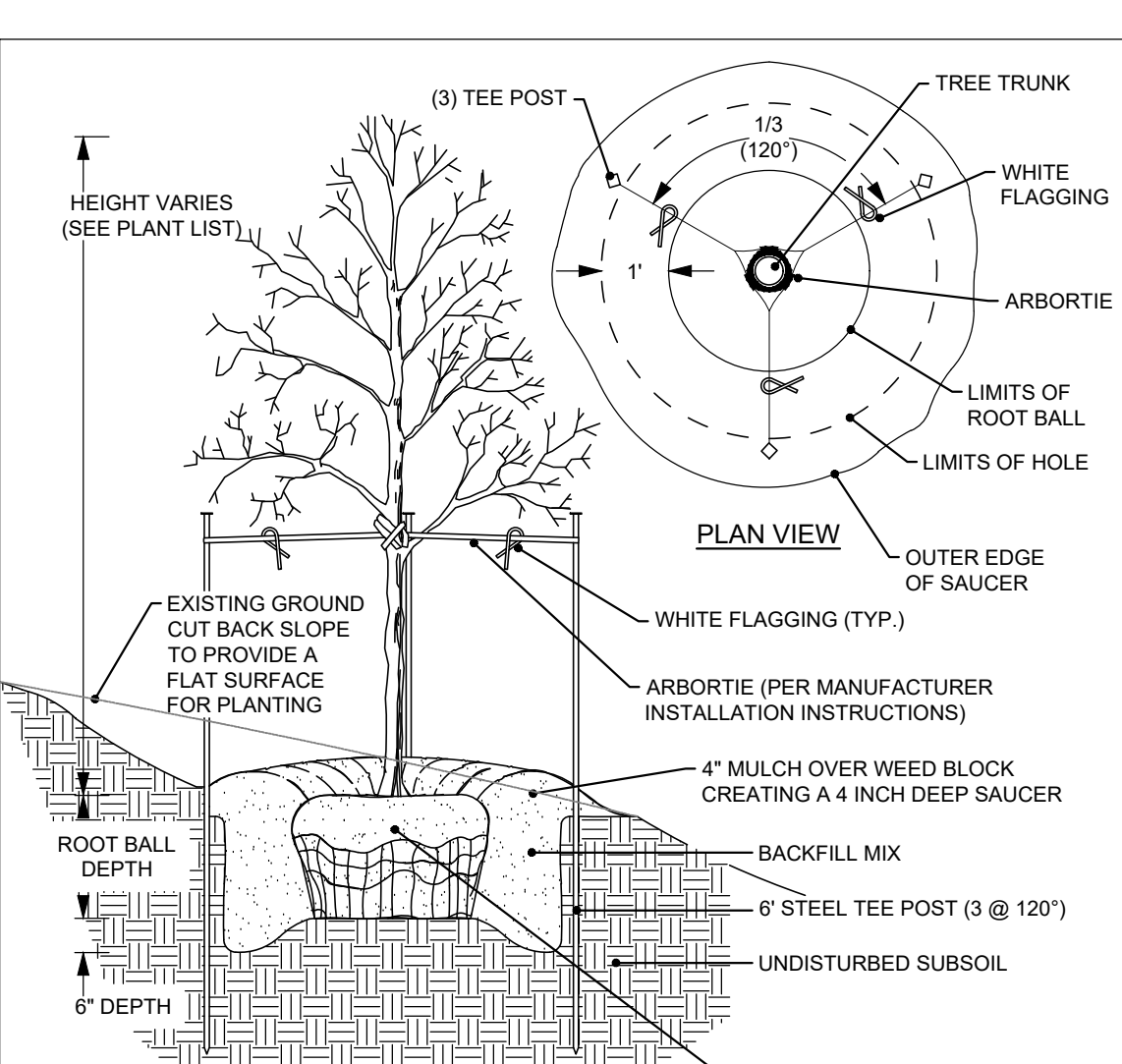
(\* SEE SHRUB PLANTING DETAIL FOR DIMENSIONS. REFERENCE PLANT MATERIAL LIST FOR PLANT TYPES AND LOCATIONS.)

**GENERAL STEEL EDGE ALIGNMENT EXAMPLES** N.T.S.



**NOTE:** SEE LANDSCAPE NOTES AND SHRUB PLANTING AND SPACING DETAIL FOR INSTALLATION.

**SHRUB DISTANCE FROM EDGE OF BED** N.T.S.



**NOTE:** SEE LANDSCAPE NOTES FOR THE TYPE OF WEED BLOCK AND MULCH MATERIAL TO USE.

**TREE PLANTING ON A SLOPE** N.T.S.

**IRRIGATION NOTES**

SUBSECTION 05.04: IRRIGATION REQUIREMENTS

(A) General Irrigation Requirements. The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:

- Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.
- Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).
- Be maintained and kept operational at all times to provide for efficient water distribution.

(B) Irrigation Methods.

- Landscaped Areas. One (1) of the following irrigation methods shall be used to ensure adequate watering of plant material in landscaped areas:
  - Conventional System. An automatic or manual underground irrigation system that may be a conventional spray or bubbler type heads.
  - Drip or Leaky Pipe System. An automatic or manual underground irrigation system in conjunction with a watersaving system such as a drip or a leaky pipe system.
  - Temporary and Aboveground Watering. Landscaped areas utilizing xeriscape plants and installation techniques, including areas planted with native grasses and wildflowers, may use a temporary and above ground system, and shall be required to provide irrigation for the first two (2) growing seasons only.
- Natural and Undisturbed Areas. No irrigation shall be required for undisturbed natural areas or undisturbed existing trees.
- Compliance with State Law. All irrigation systems shall comply with the irrigation code of Chapter 10, Buildings and Building Regulations, Article XVI, Irrigation Code, of the City of Rockwall Code of Ordinances, and all applicable state laws, as may be amended.

ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	REMARKS
	28	Cercis canadensis / Eastern Redbud Multi-trunk	B&B/Cont.	3" Cal	8' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
	38	Rhus lanceolata / Flameleaf Sumac	B&B/Cont.	3" Cal	8' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
	27	Ilex decidua / Possumhaw	B&B/Cont.	3" Cal	8' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
SHADE TREE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	REMARKS
	27	Acer rubrum 'October Glory' / October Glory Red Maple	B&B/Cont.	4" Cal in Buffer Zone	12' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
	90	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	B&B/Cont.	4" Cal in Buffer Zone	12' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
	33	Ulmus parvifolia 'Golden Rey' / Golden Rey Lacebark Elm	B&B/Cont.	4" Cal in Buffer Zone	12' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	REMARKS
	24	Elaeagnus x ebbingei / Ebbing Silverberry	5 gal	4'-8" HT 6'-8" SPD	
	268	Leucophyllum frutescens / Texas Sage	5 gal	4'-8" HT 4'-6" SPD	
	16	Spiraea prunifolia 'Bridalwreath' / Bridal Wreath Spirea	5 gal	4'-8" HT 6'-8" SPD	
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	REMARKS
	48	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	5 gal	2'-6" HT 36" O.C.	
	81	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass	5 gal	2'-3" 1'-3" Spd	
	77	Schizachyrium scoparium / Little Bluestem	5 gal	3'-4" 12"-18" Spd	
	38	Stipa tenuissima 'Pony Tails' / Pony Tails Mexican Feather Grass	5 gal	1'-2" HT 36" O.C.	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	REMARKS
	197,277 sf	Cynodon dactylon (L.) Pers. x Cynodon transvaalensis Burt Davy / Tifut Bermuda Grass	Sod		
	9,930 sf	Eragrostis curvula / Weeping Lovegrass	3 gal		
MISCELLANEOUS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	REMARKS
	1,520 sf	-Native decompsed granite / Decomposed Granite	flat		
	2,442 LF	Landscape Steel Edging			

**LANDSCAPE PROJECT NOTES**

Refer to Sitework Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tilled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, to the outside of utility easements with a clear ten feet (10') around fire hydrants and twenty feet (20') min. from all irrigation control zone meter boxes. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/4" min. thickness unless bed is bordered by concrete. Steel edging adjacent to decomposed granite beds shall have a 1/2" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees and within all beds with plants spaced 16" o.c. or greater. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of decomposed granite shall be over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier of locally available material, installed to a compacted depth of three inches (3") to be flush with the top of curb, paved surface, and/or the top of steel edge.

**TURF PROJECT NOTES**

**EROSION CONTROL:**  
Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the erosion in place at specified grades. **Topsoil and turfgrass losses due to erosion or any construction disturbance will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.**

**SOIL PREPARATION:**  
All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tillage and cleaning, all areas to receive turf shall be leveled, fine graded, and drug with a weighted spike harrow or float drag. The top two (2") inches shall be pulverized to provide a uniform bed for seeding or sod as described below.

**GRASS SOD:**  
At a minimum, three feet (3') of solid sod shall be installed along all impervious edges. This includes, but is not limited to: curbing, sidewalks, building foundation, storm water inlets, manholes, and planting bed perimeter treatments. Additional areas of sod installation will be as indicated on the design plans. **All areas from back of curb within the roadway ROWs and 10' Landscape Buffer shall be sod.** Sods shall be installed between November and March, sod shall include an over-seed of Annual Rye for a grown-in appearance.

**SPRING AND SUMMER PERMANENT GRASSING (May 15 through September 15):**  
Hydromulch seed with hulled Common Bermuda at a rate of 4 lbs/1000 sf. Seeding shall be accomplished immediately after bed preparation. Hydromulch mixture shall contain cellulose mulch applied at a rate of 2000 lbs/acre, with a maximum of 50 lbs/100 gallons of water. If seeding is delayed after mixing 0.5 - 2 hours, add 50% seed mix. If delay is longer than 2 hours, begin with new mixture.

**FALL AND WINTER TEMPORARY GRASSING (September 15 through May 15):**  
Seed with annual rye at a rate of 10 lbs/1000 sf. After May 15, Contractor shall remove rye to effectively establish permanent seeding.

**IRRIGATION:**  
In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod/seed temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

**MAINTENANCE REQUIREMENTS:**  
Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

**ESTABLISHMENT AND ACCEPTANCE:**  
All disturbed areas being seeded shall receive topsoil as specified and be adequately established with turf such that any absence of water will not kill the turf, but promote a state of turf dormancy, until the next rainfall event.

Regardless of unreasonable climatic conditions or other adverse conditions affecting planting operations and the growth of the turf grass, it shall be the sole responsibility of the Contractor to establish a uniform stand of grass. UNIFORM STAND OF GRASS is defined as minimum 80% coverage per square foot (no bare areas).

Contractor to make a written request for inspection to Owner or Owner's representative a minimum of 5 days prior to the anticipated inspection date.

**INDUSTRIAL RESERVE DISCOVERY**  
1775 STATE HIGHWAY 276,  
ROCKWALL, TEXAS



Revision No.	Date	Description

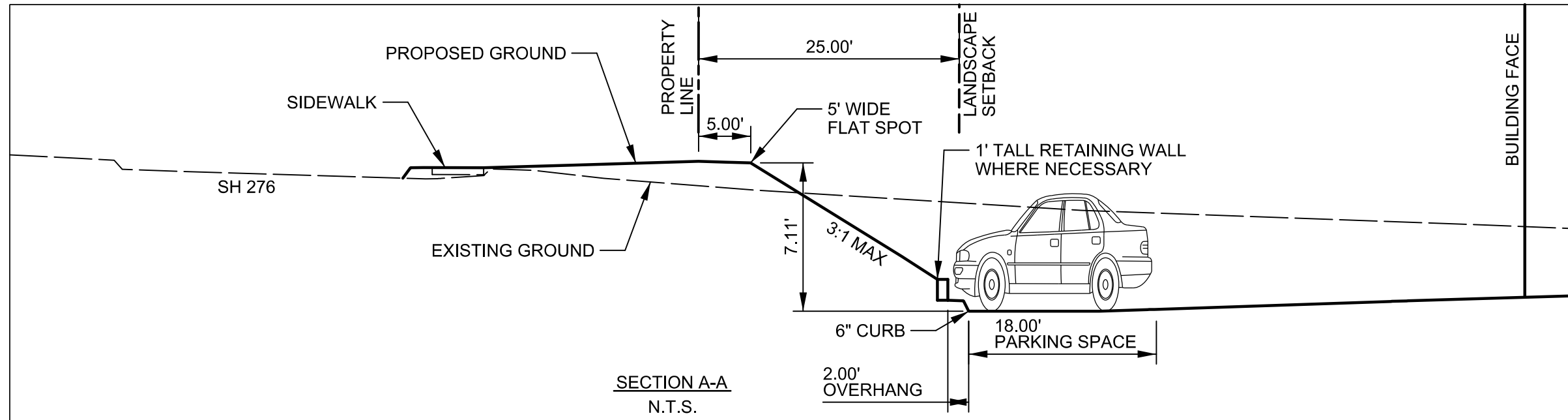
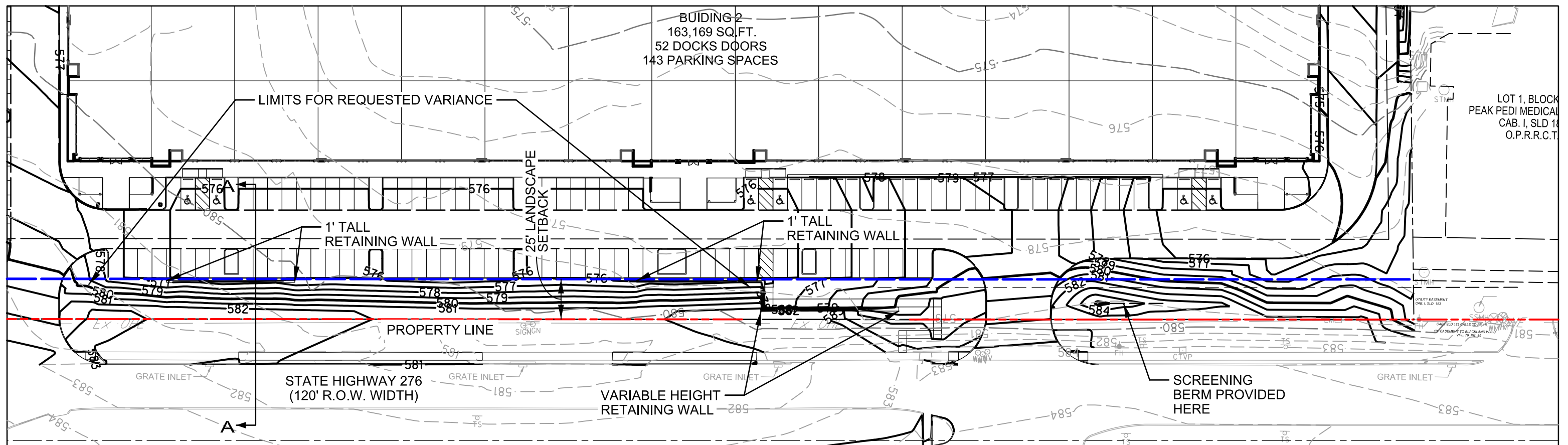
**PRELIMINARY FOR INTERIM REVIEW ONLY**

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:

JAMES R. KIRODRE 2255  
NAME: R.L.A. NO.  
DATE: 03/15/2024

Project No.: 46587  
Issued: MARCH, 2024  
Drawn By: CP  
Checked By: JRK  
Scale: AS SHOWN  
Sheet Title: LANDSCAPE NOTES AND DETAILS  
L1.01  
Sheet Number





**LEGEND**

LANDSCAPE SETBACK ---

PROPERTY LINE ---

**PRELIMINARY**  
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

MATTHEW J. GARDNER	130786
NAME	P.E. NO.
DATE	3/25/2024
TBPE FIRM # F-312	



**INDUSTRIAL RESERVE DISCOVERY**  
1775 TX-276,  
ROCKWALL, TEXAS



Project No.: 53955  
Issued: TX 276 SECTION  
DETAIL  
**1**



March 15, 2024  
AVO 53955

City of Rockwall Planning and Zoning  
385 S Goliad St  
Rockwall, TX 75087

RE: VARIANCE REQUEST: Industrial Reserve Discovery Rockwall  
Rockwall, TX

Dear reviewer,

Industrial Reserve would like to request a variance to the minimum ground cover requirements within landscape buffers adjacent to Primary Roadways and specific to the SH-276 Overlay District, as detailed in Subsection 06.02 (E) of the *City of Rockwall Unified Development Code*. The Unified Development Code requires a built-up berm and shrubbery, or combination thereof, along the length of the frontage where the berm is 30 – 48 inches in height as measured from the primary roadway elevation. Based on our interpretation of the code requirements we believe that the intent and purpose of the required ground cover screening can be met with an alternative landscaping layout that still provides the required shrubbery and trees but eliminates the built-up berm. Below are key points to the proposed site conditions and proposed justification to providing the variance as requested.

Proposed Site Conditions:

- 1) Please refer to the included amended "Site Plan".
- 2) The car parking for this proposed site development is several feet lower in elevation when compared to the existing primary roadway (SH-276). The parking is on average about 5.5 ft lower than SH-276. Due to this height difference, providing a minimum 30-inch-tall berm along the frontage road creates the need to add over 400 ft of retaining wall that averages 7 ft in height. The additional height difference created by the berm and limited space to make up the grades is what drives the need for the wall.
- 3) The reason the car parking sits several feet lower than SH-276 is due to grading requirements of the intended site layout and the intent to provide a balanced site for dirt import/export.

Proposed Variance

- 1) Please refer to the included attachment labeled "TX 276 SECTION DETAIL".
- 2) The proposed variance to the code requirement is to eliminate the built-up berm. The shrubbery and trees would still be provided as required. It is our interpretation of the code that the landscape berm provides ground cover for both screening and aesthetic purposes. The requirement as detailed within the code has a more practical application to sites that are at or above the adjacent roadway elevation. This site sits several feet below and per this site's conditions, we believe the intent of the requirement can be met without the berm.
- 3) Any vehicles navigating within this site's car parking and facing towards SH-276 would have their headlights screened with the over 5 ft elevation difference between the car parking and the public roadway. This elevation difference is already greater than the 30-inch berm height denoted in the code requirement and thus already provides more screening than is needed. The addition of the 30" berm does not increase the functionality for the screening intent as over 30" of screening are already being provided.

If you have any questions or need any additional information, please call me at your convenience 214-217-6622.

Sincerely,

HALFF

A handwritten signature in blue ink that reads "Jose L. Garcia, PE".

Jose Garcia, PE





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

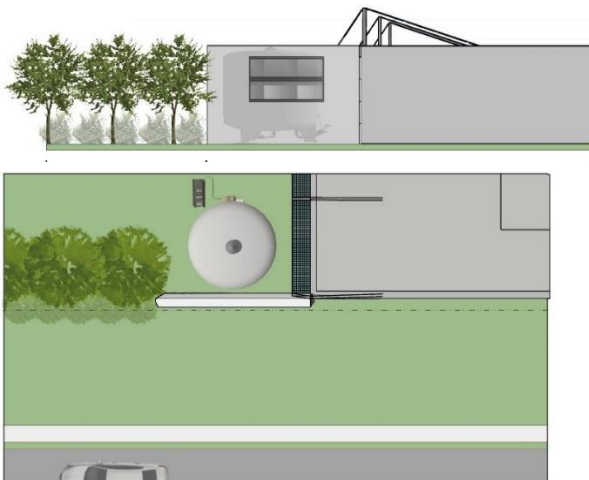
**DATE:** April 9, 2024

**APPLICANT:** Bobby Pross; *Pross Design Group*

**CASE NUMBER:** SP2024-011; *Amended Site Plan for 1220 Data Drive*

On November 9, 2021, the Planning and Zoning Commission approved a site plan [Case No. SP2021-027] to allow the construction of two (2), ~157,720 SF Warehouse/Distribution Facilities on the subject property. Following this approval, the applicant constructed the two (2) buildings and is nearing completion of the project. In February 2024, the applicant approached staff indicating that a potential tenant needed to add silos to the site to support their operations. Staff informed the applicant that they would need to go through the Amended Site Plan process in order to delineate the silos on the site plan and provide building elevations that included the silos.

On March 15, 2024, the applicant -- *Bobby Pross of Pross Design Group* -- submitted a development application requesting approval of an Amended Site Plan for six (6) silos on the subject property. As directed by staff, the applicant submitted a site plan and building elevations with their request. The proposed site plan indicates that six (6), 56-foot tall silos would be added behind the northern building that is adjacent to E. IH-30. Staff should note that the northern building faces Data Drive and sides onto E. IH-30. Given this, the silos will be highly visible from E. IH-30. According to Subsection 01.05 (D), *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)boveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram [Figure 4] (*incorporate primary screening -- screening wall -- and secondary screening*) ..." [see *Figure 4 in Exhibit 1*] In this case, the applicant is proposing to utilize the existing 12-foot wing wall and landscaping to screen the 56-foot tall silos. This would leave 44-feet of the silos exposed above the existing wing wall that would be visible from IH-30 and the properties east of the subject property. In addition, the silos will extend 14.5-feet above the roofline of the building, which will be visible from the property west of the subject property. Based on the landscape plan provided by the applicant, they are incorporating three (3) additional four (4) inch caliper evergreen canopy trees (*i.e. Live Oaks*) in front of the wing wall. Staff should note, that Live Oak trees are typically a slow growing tree and that a four (4) inch caliper tree will not provide immediate screening. Based on this, staff included project comments recommending a row of evergreen trees be planted along the detention pond to the east and north of the silos. This, in staff's opinion, would provide better screening than what the applicant is proposing. In addition, the Architectural Review Board (ARB) requested that the applicant [1] increase the height of the wing wall to match the height of the building (*i.e. 39.5-feet*) in conformance with the requirements of the Unified Development Code (UDC), and [2] provide the landscaping as described in staff's comments. The applicant has chosen not to incorporate any of the Architectural Review Board (ARB) or staff's recommendations into the proposed plans.



**EXHIBIT 1.** ABOVE GROUND STORAGE TANKS REQUIRE A SCREENING WALL THAT MATCHES THE MAIN STRUCTURE AND COMPLETELY SCREENS THE ABOVE GROUND STORAGE TANK FROM VIEW. IN ADDITION, LANDSCAPE SCREENING SHOULD BE PROVIDED.

height of the wing wall to match the height of the building (*i.e. 39.5-feet*) in conformance with the requirements of the Unified Development Code (UDC), and [2] provide the landscaping as described in staff's comments. The applicant has chosen not to incorporate any of the Architectural Review Board (ARB) or staff's recommendations into the proposed plans.

Since the applicant's request does not conform to the design criteria and in accordance with Section 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the applicant is requesting an exception to the above ground storage tank screening requirements. Per which section of the code, exception requests are discretionary decisions for the Planning and Zoning Commission and "...require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."

Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the April 9, 2024 Planning and Zoning Commission meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS **1220 Data Drive**

SUBDIVISION **Seefried Rockwall Addition**

LOT

**1**

BLOCK

**A**

GENERAL LOCATION **I-30 and Data Drive**

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING **LI**

CURRENT USE **Vacant Warehouse**

PROPOSED ZONING **No change**

PROPOSED USE **Plastics Recycling**

ACREAGE **12.101**

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

OWNER **USEF ROCKWALL OWNER, LLC,**

APPLICANT **Pross Design Group**

CONTACT PERSON **Jaymie Bullard**

CONTACT PERSON **Bobby Pross**

ADDRESS **3030 LBJ Freeway Suite 1650**

ADDRESS **5310 Harvest Hill Rd. Suite 180**

CITY, STATE & ZIP **Dallas Tx 75234**

CITY, STATE & ZIP **Dallas Tx 75230**

PHONE **214-393-6060**

PHONE **972-759-1400**

E-MAIL **jaymiebullard@seefriedproperties.com**

E-MAIL **bpross@pdgarch.net**

**NOTARY VERIFICATION [REQUIRED]**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jaymie Bullard [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

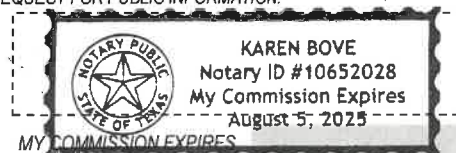
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF MARCH, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF MARCH, 2024

OWNER'S SIGNATURE


*Jaymie Bullard*  
*Karen Bove*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







Case Location Map = 



# City of Rockwall

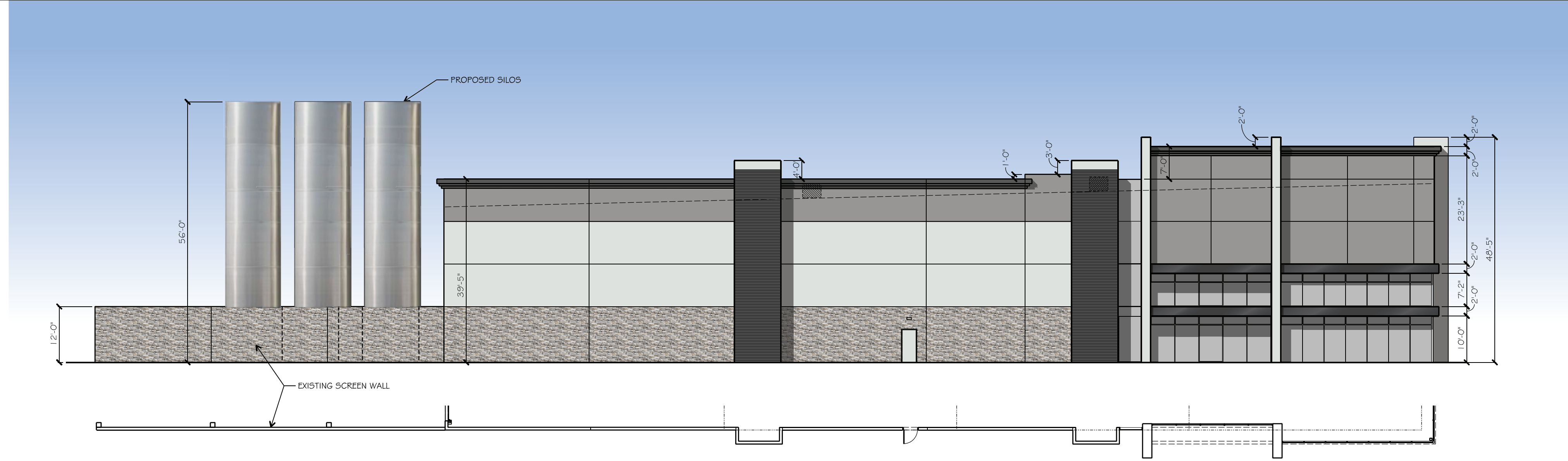
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





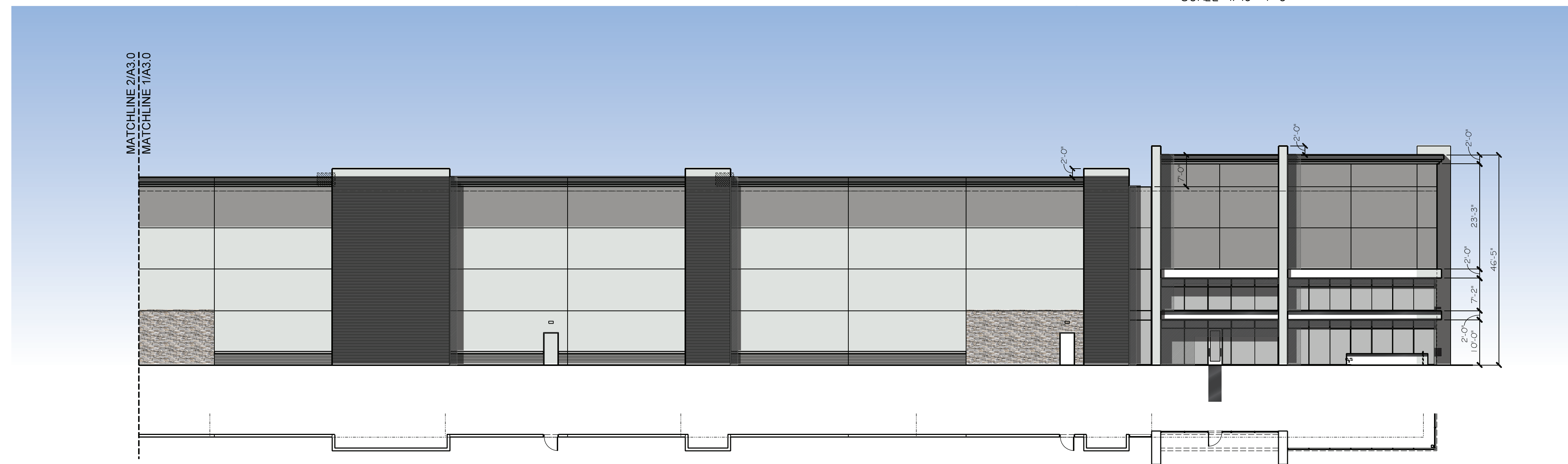




**3** EXISTING BUILDING 1  
NORTH ELEVATION  
SCALE: 1/16"=1'-0"



**2** EXISTING BUILDING 1  
PARTIAL WEST ELEVATION  
SCALE: 1/16"=1'-0"



**1** EXISTING BUILDING 1  
PARTIAL WEST ELEVATION  
SCALE: 1/16"=1'-0"

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

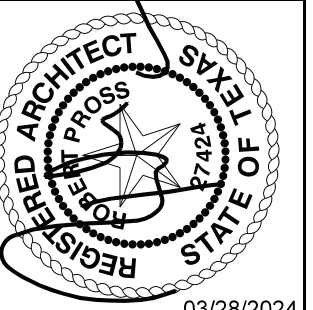
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

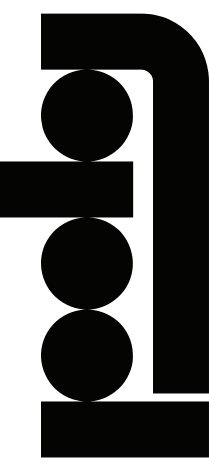
SITE PLAN  
(CITY CASE NO. SP2024-011)

drawn:  
checked:  
ROBERT PROSS  
C/1/E  
03/28/2024

SEEFRIED PROPERTIES



pross design group, incorporated  
2510 Harvest Hill Road, Suite 100, Dallas, Texas 75226 | 972.750-1400



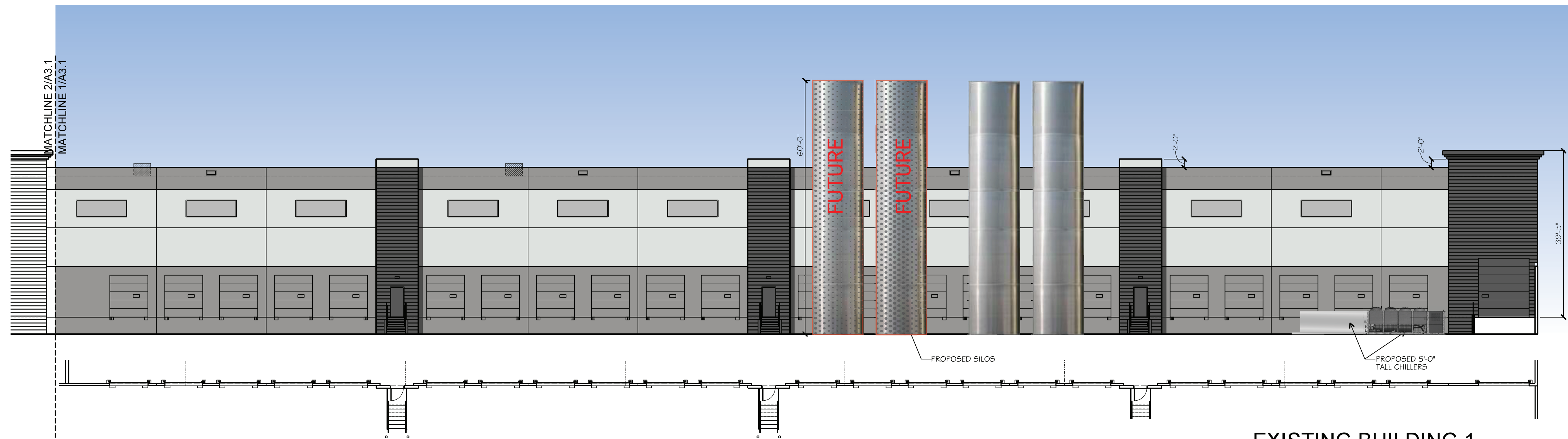
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ROCKWALL PARK 30 - BLDG 1  
ROCKWALL, TEXAS

job no  
2152  
sheet  
A3.0

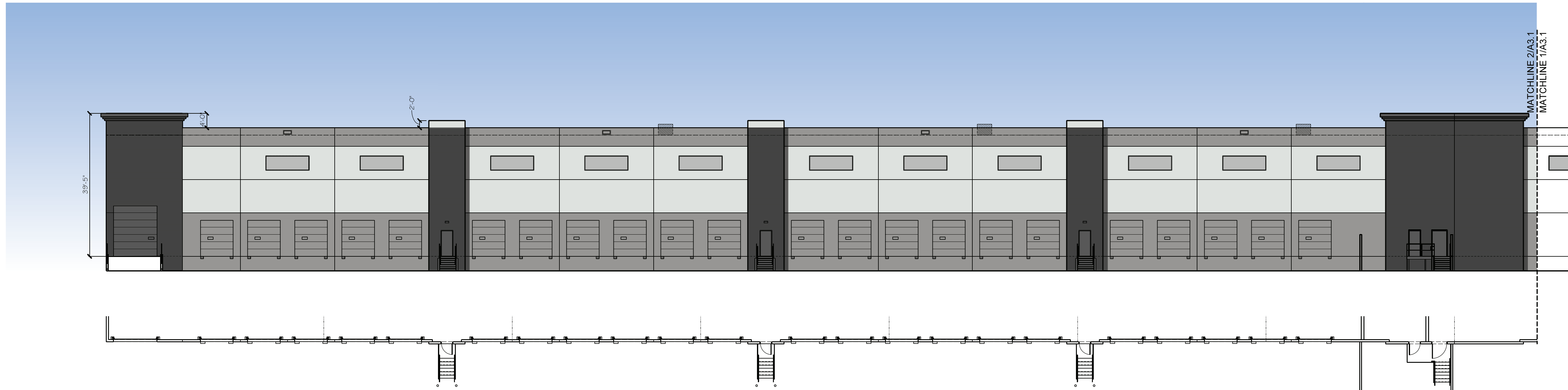


**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

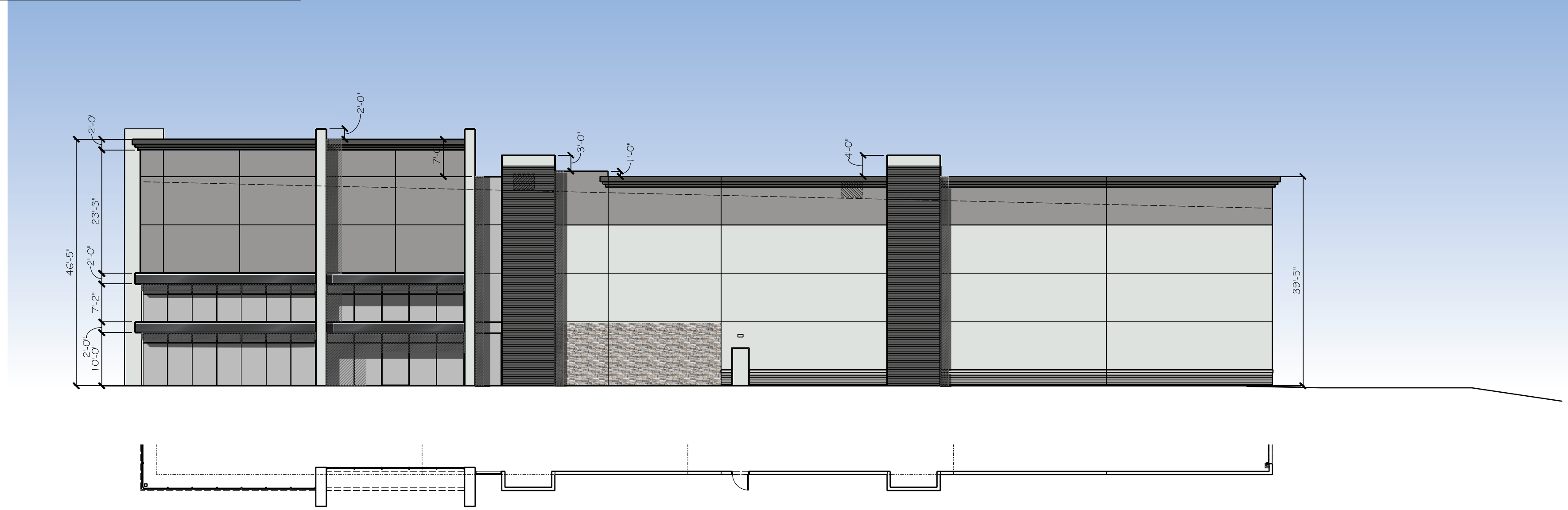
\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



**1** EXISTING BUILDING 1  
PARTIAL EAST ELEVATION  
SCALE: 1/16"=1'-0"

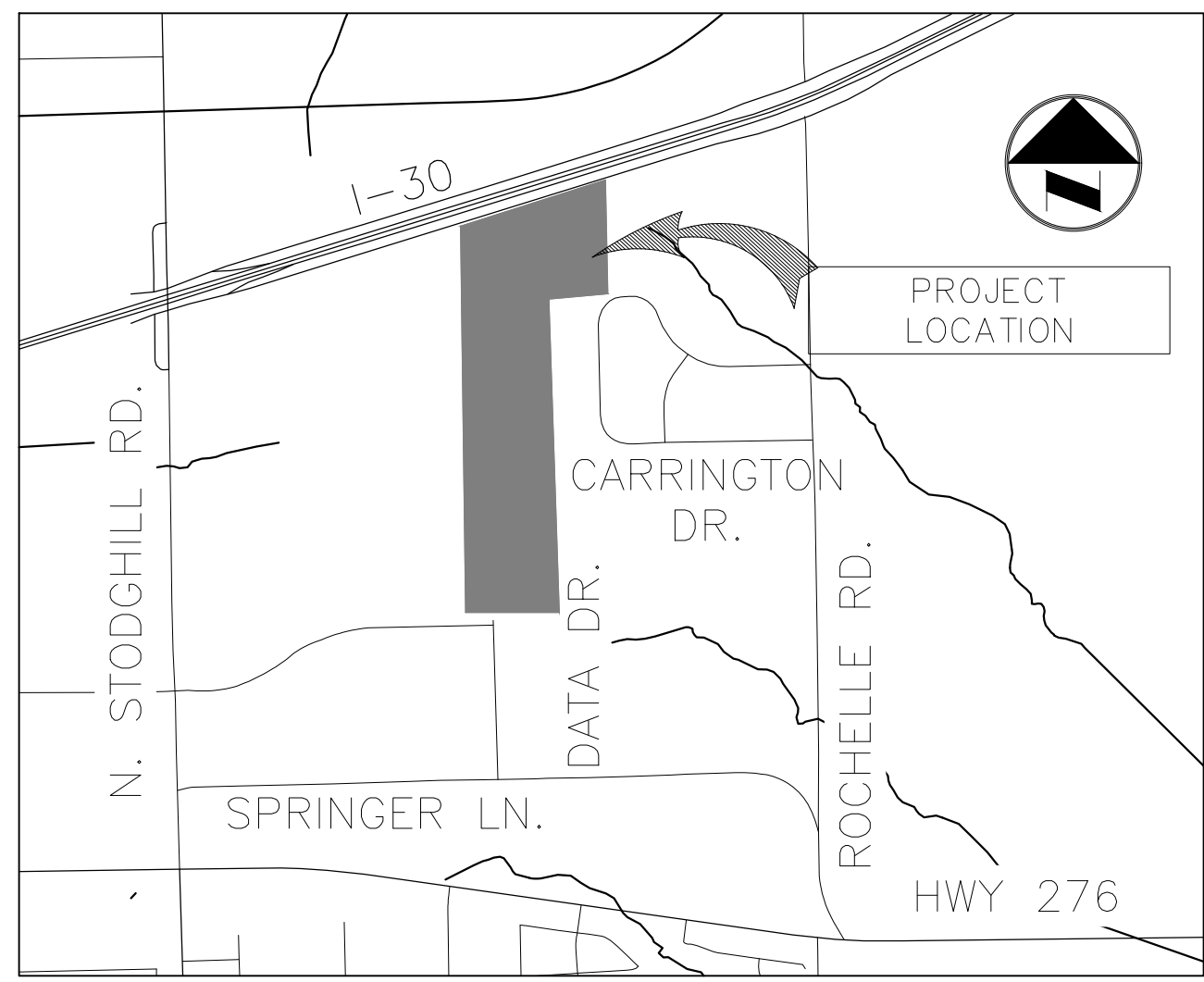
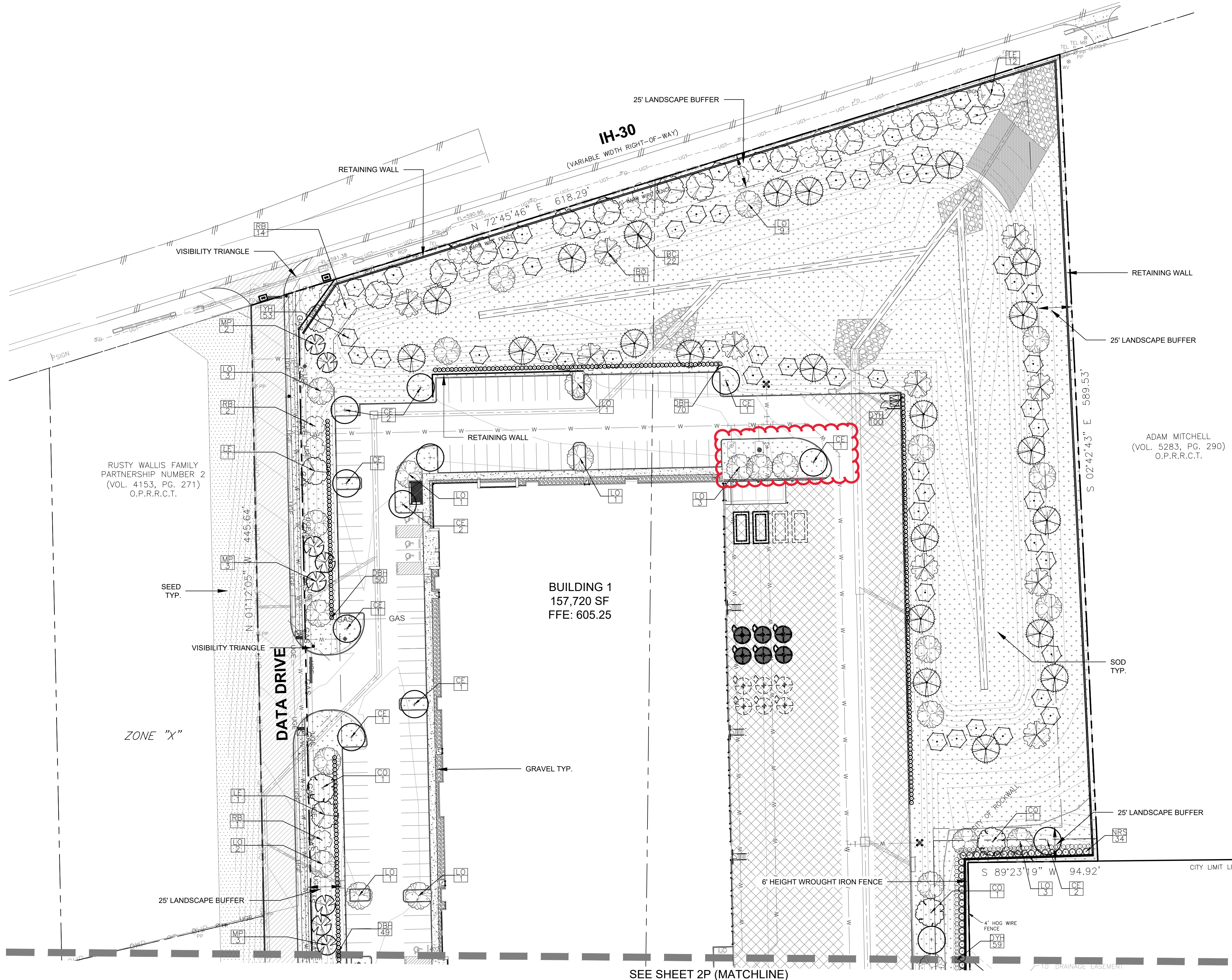


**2** EXISTING BUILDING 1  
PARTIAL EAST ELEVATION  
SCALE: 1/16"=1'-0"

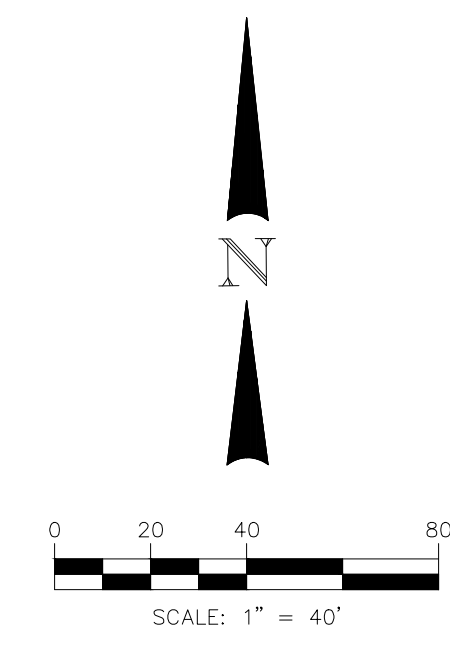


**3** EXISTING BUILDING 1  
SOUTH ELEVATION  
SCALE: 1/16"=1'-0"





**VICINITY MAP**  
(NOT TO SCALE)



**BGE, Inc.**  
2595 Dallas Parkway, Suite 101  
Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TBPE Registration No. F-1046  
Copyright 2024

**OWNER/DEVELOPER**  
**SEEFRIED INDUSTRIAL**  
3030 LBJ Freeway, Suite 1650  
Dallas, TX 75234  
Contact: Jonathan Stites  
Tel: 214-393-6066

**ARCHITECT**  
**PROSS DESIGN GROUP, INC.**  
5310 Harvest Hill Rd, Suite 180  
Dallas, Texas 75230  
Contact: Josh Kozuch  
Tel: 972-759-1400

PROJECT NAME  
**PLANTING PLAN**  
**SEEFRIED ROCKWALL**  
LOT AND BLOCK  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



03/27/2024

**CAUTION!!**  
Contractor to Verify exact location & Depth of  
Exist Facilities Prior to any Construction  
Activities

**CAUTION!!!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: SRF  
DESIGNED BY: HEM  
DATE: MARCH 2024  
PROJECT NUMBER: 9028-00

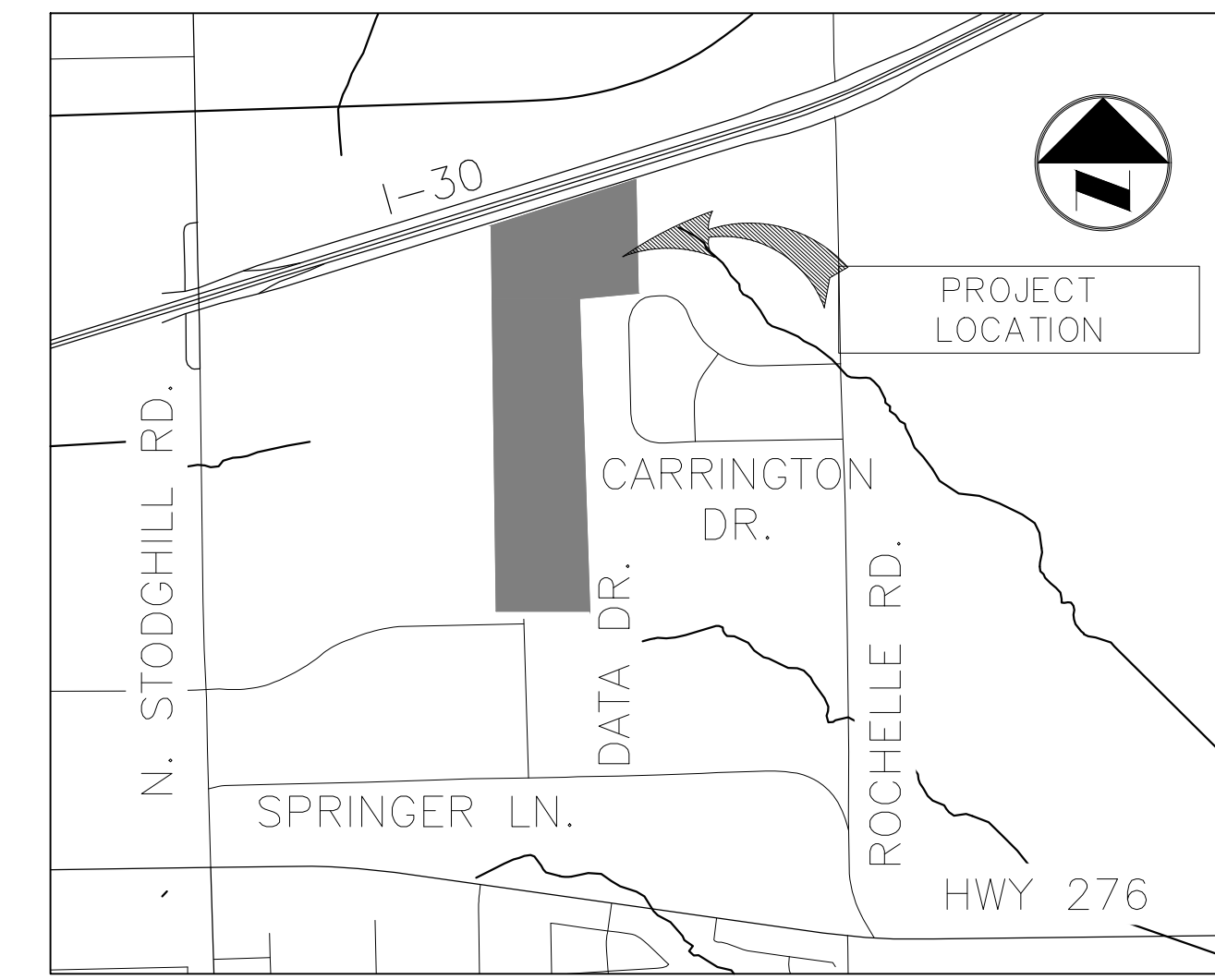
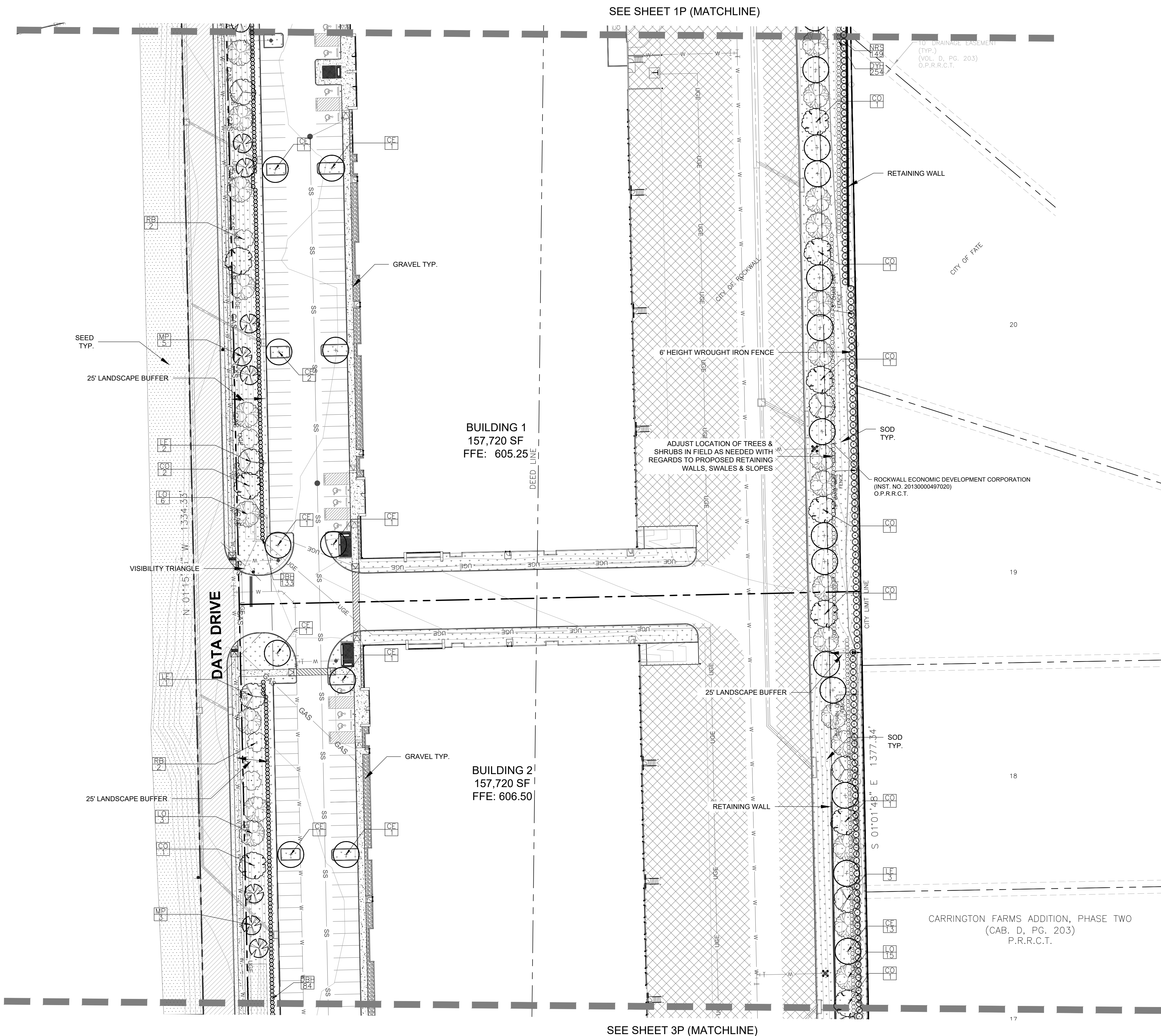
**LANDSCAPE PLAN**  
(CITY CASE NO. SP2024-011)  
**SEEFRIED ROCKWALL**  
11.126 ACRES AND 11.108 ACRES BEING SITUATED  
IN THE R.B. IRVINE SURVEY, ABSTRACT NO. 120  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET NO.  
1P

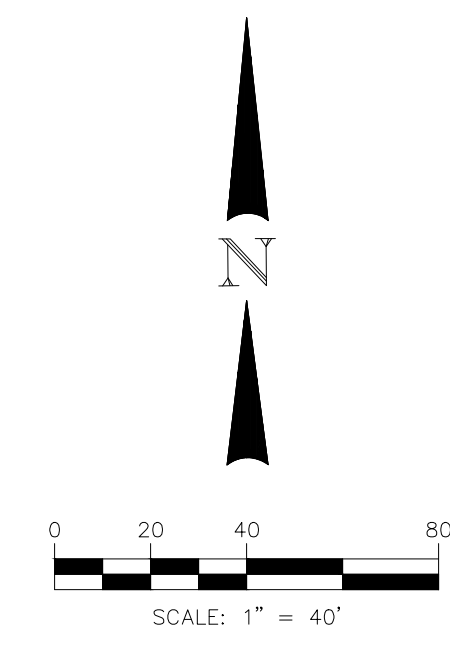
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BGE, INC.





**VICINITY MAP**  
(NOT TO SCALE)



**BGE, Inc.**  
2595 Dallas Parkway, Suite 101  
Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TBPE Registration No. F-1046  
Copyright 2024

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**ARCHITECT**  
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5310 Harvest Hill Rd, Suite 180  
Dallas, Texas 75230  
Contact: Josh Kozuch  
Tel: 972-759-1400

PROJECT NAME

**PLANTING PLAN**

**SEEFRIED ROCKWALL**  
LOT AND BLOCK

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Professional Engineer Seal for W. Brett Mann, Registered Professional Engineer, State of Texas, No. 1984.

03/27/2024

**CAUTION!!**  
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

**CAUTION!!!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

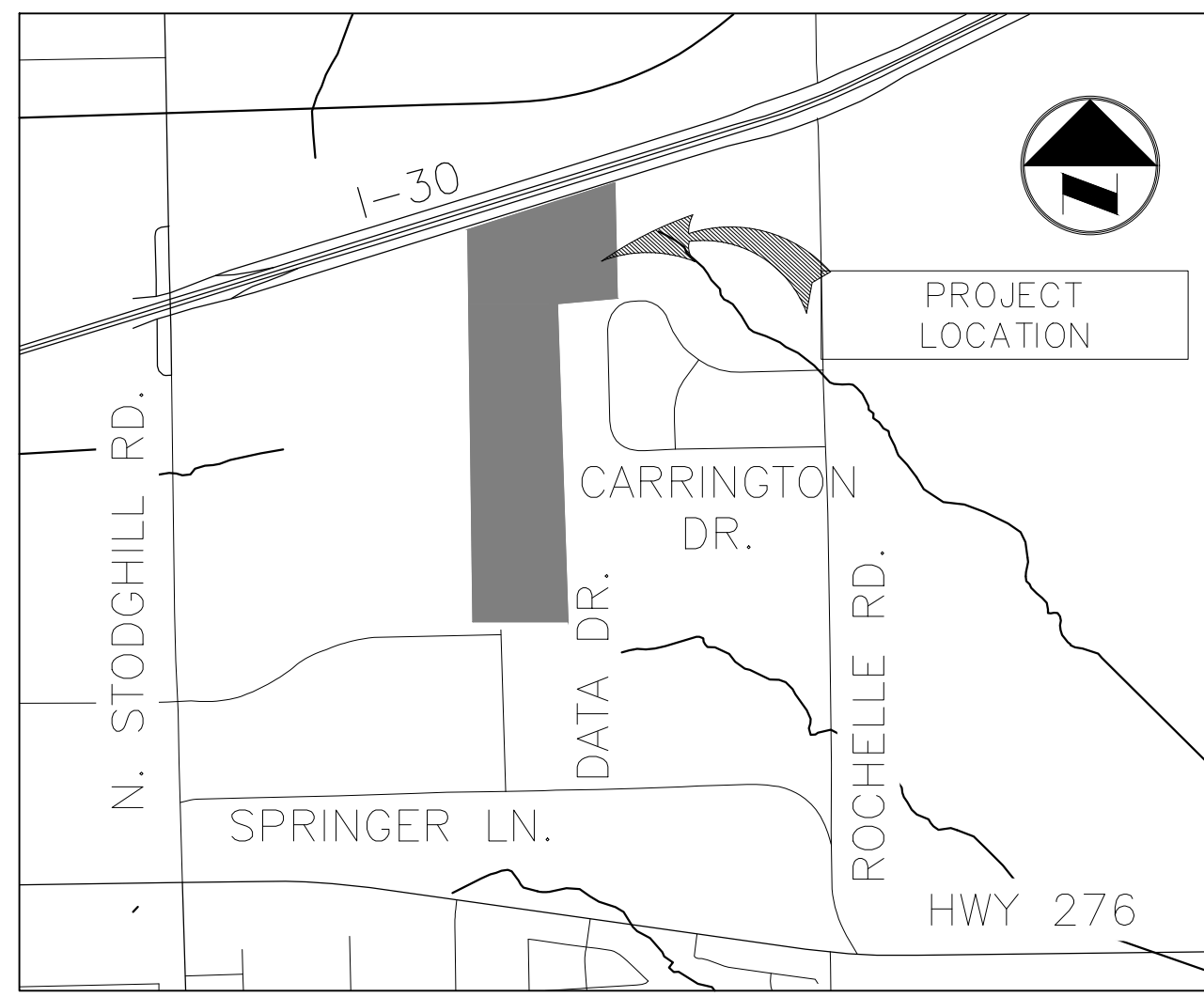
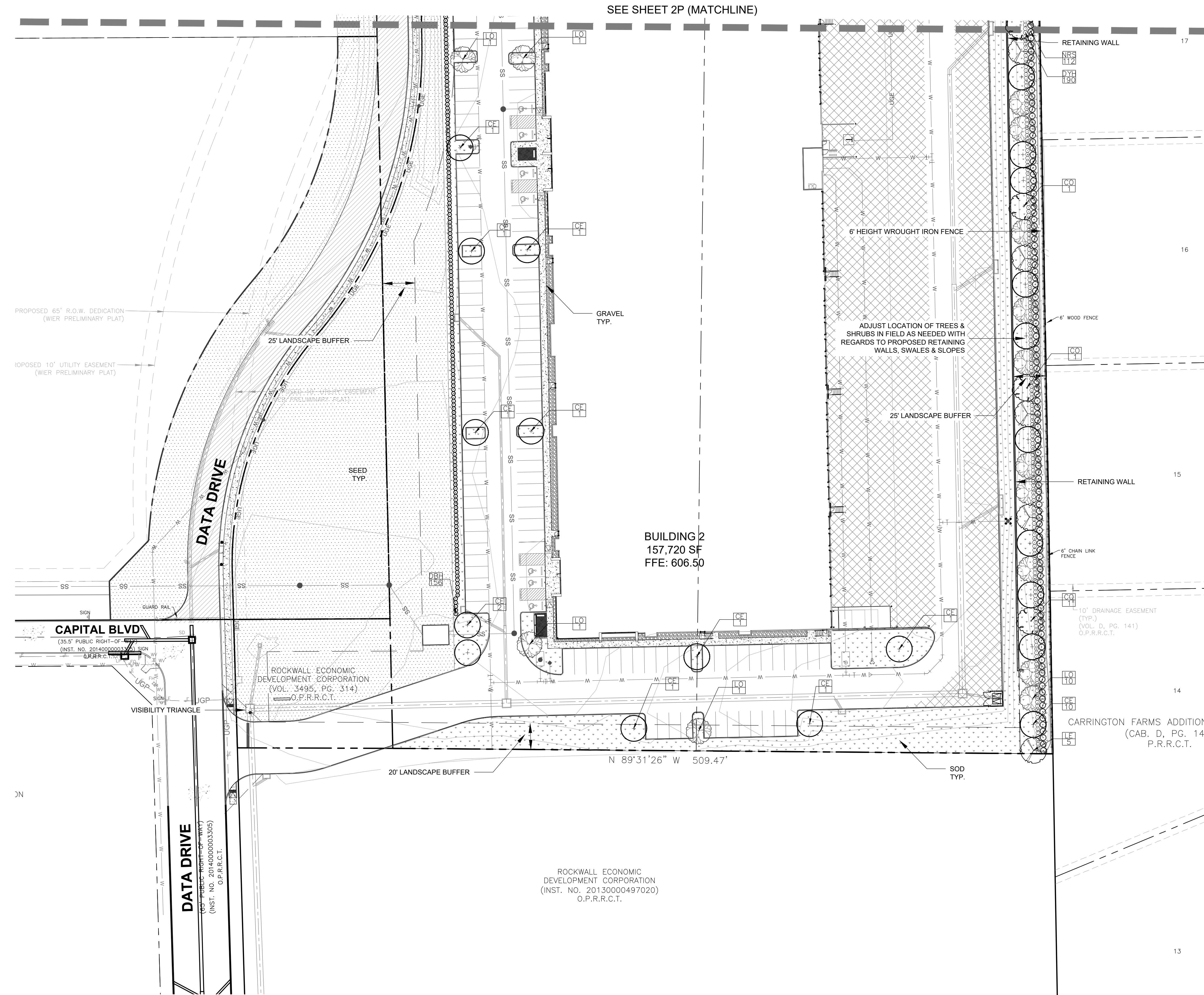
REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: SRF  
DESIGNED BY: HEM  
DATE: MARCH 2024  
PROJECT NUMBER: 9028-00

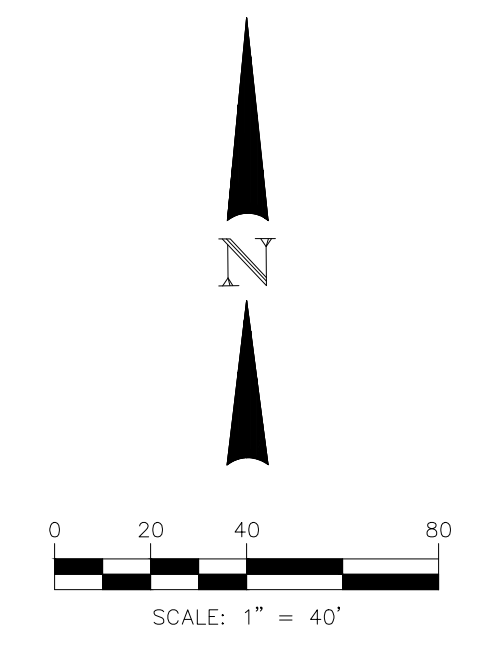
**LANDSCAPE PLAN**  
(CITY CASE NO. SP2024-011)  
**SEEFRIED ROCKWALL**  
11.126 ACRES AND 11.108 ACRES BEING SITUATED  
IN THE R.B. IRVINE SURVEY, ABSTRACT NO. 120  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET NO.  
2P





**VICINITY MAP**  
(NOT TO SCALE)



LANDSCAPE PLAN  
(SHEET CASE NO. SP2024-011)  
SEEFRIED ROCKWALL  
11.126 ACRES AND 11.108 ACRES BEING SITUATED  
IN THE R.B. IRVINE SURVEY, ABSTRACT NO. 120  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



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Frisco, TX 75034  
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**OWNER/DEVELOPER**  
**SEEFRIED INDUSTRIAL**  
3030 LBJ Freeway, Suite 1650  
Dallas, TX 75234  
Contact: Jonathan Stites  
Tel: 214-393-6066

**ARCHITECT**  
**PROSS DESIGN GROUP, INC.**  
5310 Harvest Hill Rd, Suite 180  
Dallas, Texas 75230  
Contact: Josh Kozuch  
Tel: 972-759-1400

PROJECT NAME  
**PLANTING PLAN**  
**SEEFRIED ROCKWALL**  
LOT AND BLOCK  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



03/27/2024

**CAUTION!!**  
Contractor to Verify exact location & Depth of  
Exist Facilities Prior to any Construction  
Activities

**CAUTION!!!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

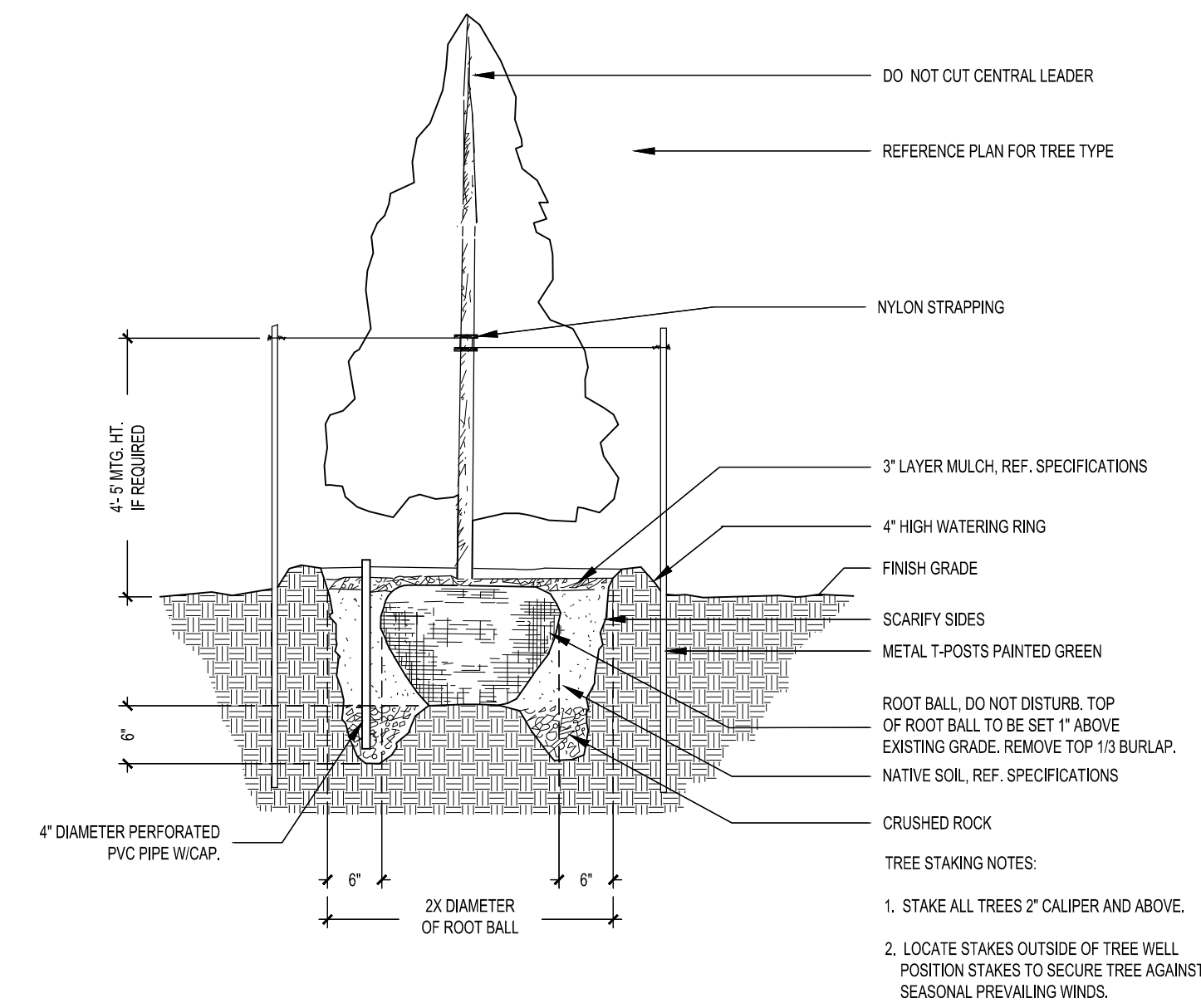
CHECKED BY: SRF  
DESIGNED BY: HEM  
DATE: MARCH 2024  
PROJECT NUMBER: 9028-00

SHEET NO.  
3P

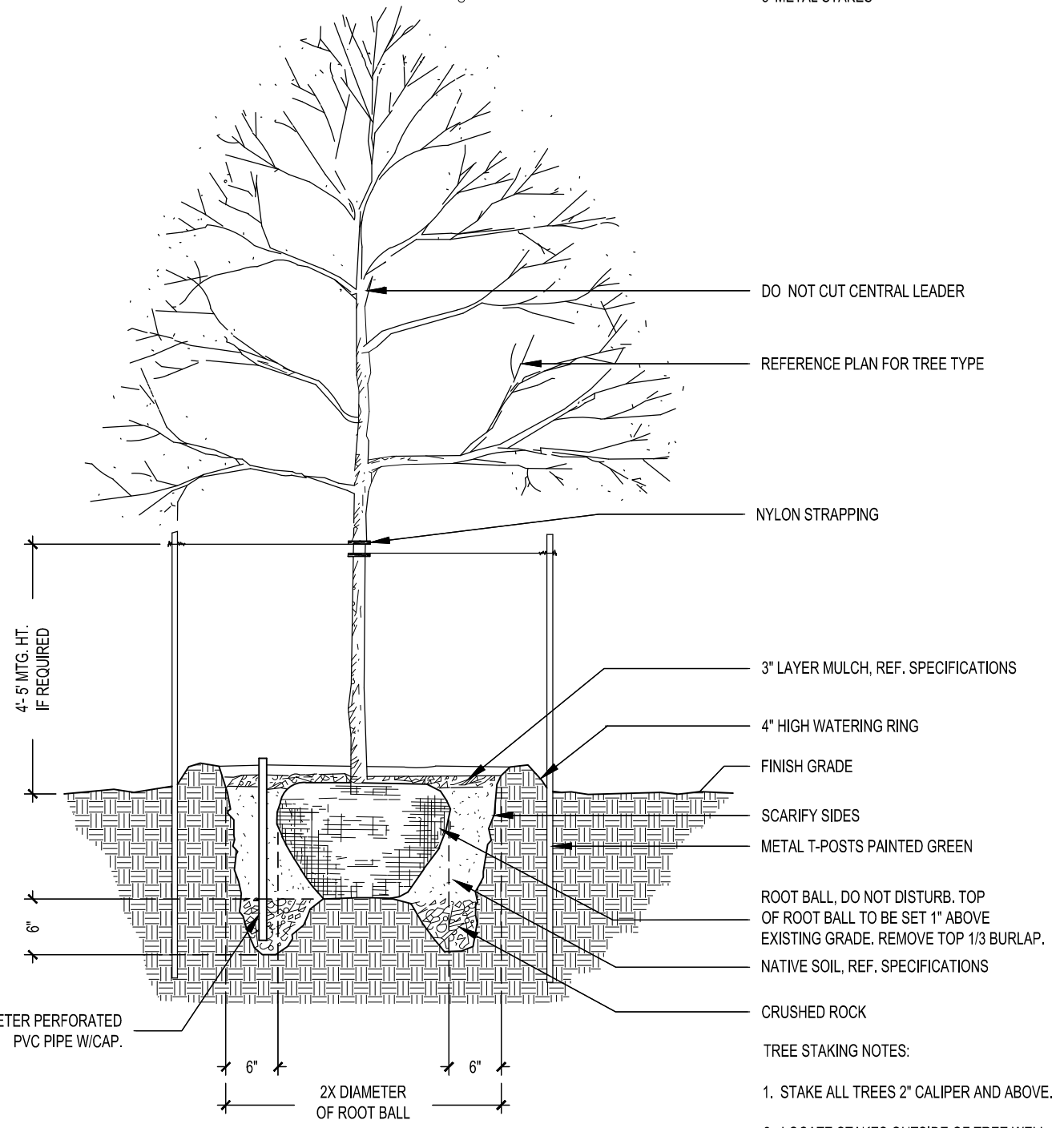
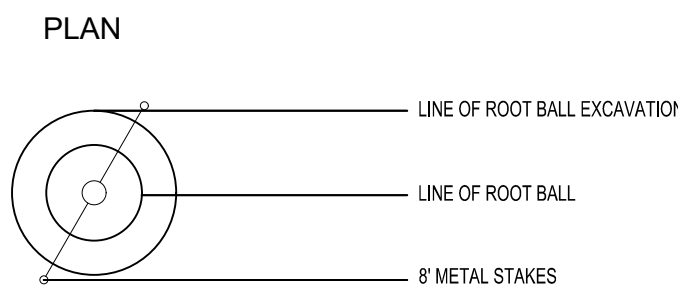


# LANDSCAPE NOTES

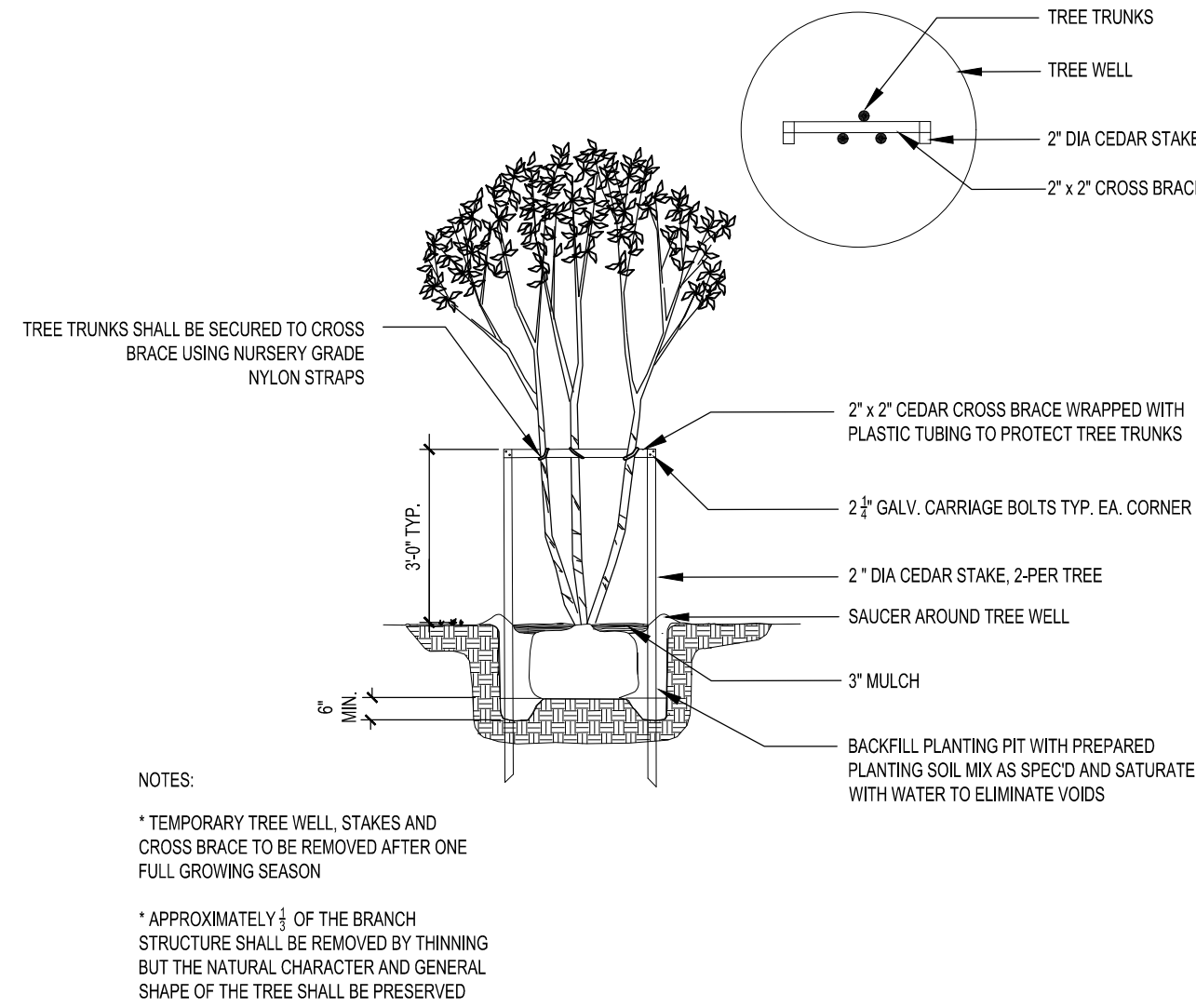
- ALL CANOPY (LARGE) TREES MUST BE MINIMUM OF FOUR (4) INCH CALIPER (@DBH) AT TIME OF PLANTING.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM PROVIDING 100% COVERAGE OF ALL LANDSCAPE AREAS IS REQUIRED. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (SUBSECTION 05.04. OF ARTICLE 08)
- TREES SHALL BE PLANTED AS LEAST FOUR (4) FEET FROM ANY UTILITY LINE, CURB, SIDEWALK OR FIRE CONNECTION AND OUTSIDE ALL UTILITY EASEMENTS.
- TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN (7) FEET.
- TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE (9) FEET.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1).
- NO TREES TO BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
- NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".



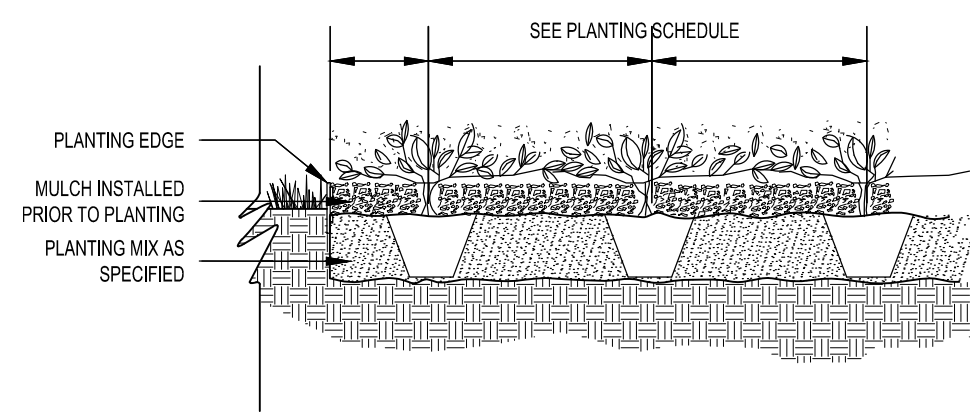
**C** EVERGREEN TREE PLANTING SECTION NOT TO SCALE



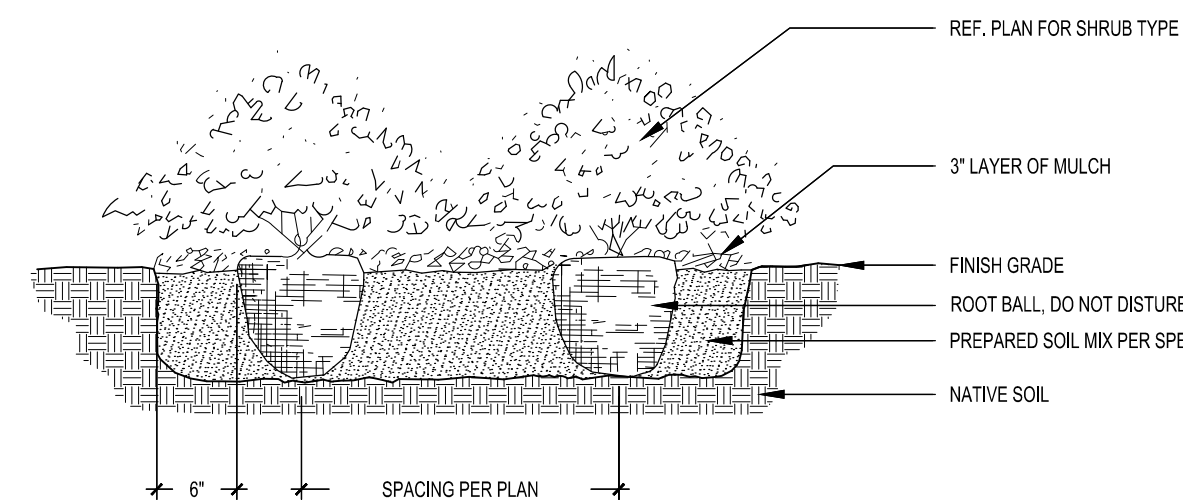
**A** SHADE TREE PLANTING SECTION NOT TO SCALE



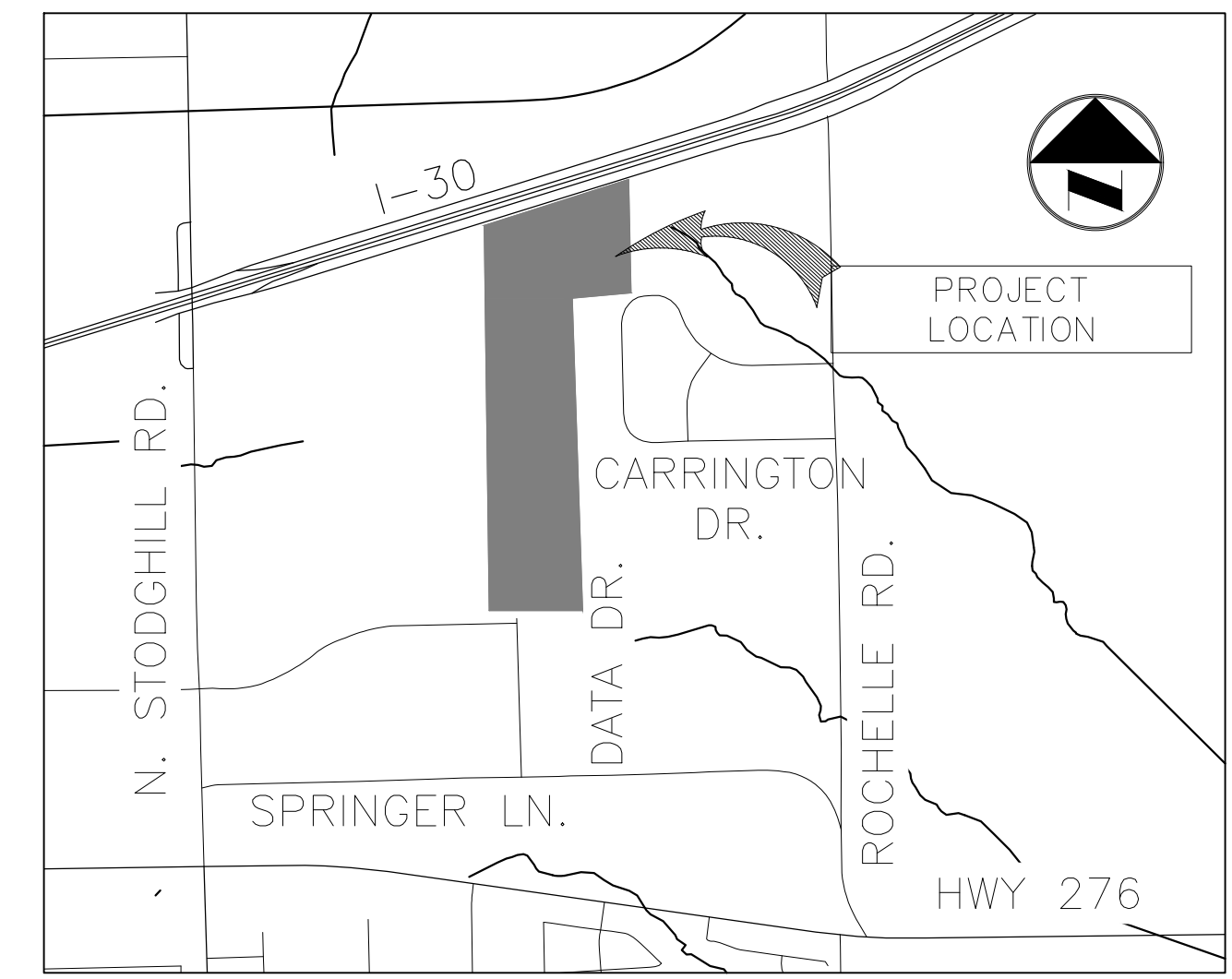
**D** ORNAMENTAL / MULTI-TRUNK TREE PLANTING SECTION / ELEVATION NOT TO SCALE



**E** GROUND COVER PLANTING SECTION NOT TO SCALE



**B** SHRUB PLANTING SECTION NOT TO SCALE



**VICINITY MAP**  
(NOT TO SCALE)

## PLANT SCHEDULE

CANOPY TREES							
CODE	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER	QTY	REMARKS	
LE	Lacebark Elm	Ulmus parvifolia	4" Cal.	B&B	25	FULL CENTRAL LEADER	
BO	Bur Oak	Quercus macrocarpa	4" Cal.	B&B	11	FULL CENTRAL LEADER	
CO	Chinkapin Oak	Quercus muehlenbergii	4" Cal.	B&B	16	FULL CENTRAL LEADER	
LO	Live Oak	Quercus virginiana	4" Cal.	B&B	63	FULL CENTRAL LEADER	
BC	Bald Cypress	Taxodium distichum	4" Cal.	B&B	22	FULL CENTRAL LEADER	
CE	Cedar Elm	Ulmus crassifolia	4" Cal.	B&B	56	FULL CENTRAL LEADER	
ORNAMENTAL TREES							
CODE	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER	QTY	REMARKS	
YH	Yaupon Holly	Ilex vomitoria	45 gal.	CONT.	53	4' HEIGHT MIN.	
RB	Eastern Redbud	Cercis Canadensis	45 gal.	CONT.	21	4' HEIGHT MIN.	
MP	Mexican Plum	Prunus mexicana	45 gal.	B&B	16	4' HEIGHT MIN.	
SHRUBS							
CODE	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER	QTY	REMARKS	
DYH	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gal.	Cont.	503	FULL PLANT 36" o.c.	
DBH	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 gal.	Cont.	642	FULL PLANT 48" o.c.	
NRS	Nellie R. Stevens Holly	Ilex x 'Nellie R. Stevens'	5 gal.	Cont.	295	FULL PLANT 48" o.c.	
GROUND COVERS							
CODE	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER	QTY	REMARKS	
CG	Crushed Gravel		1"-1 1/2" Aggregate sizes		5,050 sf	3" depth over filter fabric	
SOD/SEED							
CODE	COMMON NAME	BOTANICAL NAME	SIZE	CONTAINER	QTY	REMARKS	
SD	Seed	Cynodon dactylon	seed		111,556 sf		
SOD	Bermuda Grass	Cynodon dactylon	sod		240,935 sf	Full well rooted, min. 1.25" mat.	

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03/27/2024

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REVISIONS		
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CHECKED BY: SRF  
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LANDSCAPE PLAN  
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CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET NO.  
4P



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2024  
**APPLICANT:** Jeff Carroll; *Jeff Carroll Architects, Inc.*  
**CASE NUMBER:** SP2024-012; *Site Plan for 1775 Airport Road*

---

### **SUMMARY**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Frank Conselman for the approval of a Site Plan for an *Industrial/Warehouse Building* on a 6.68-acre tract of land identified as Tracts 21 & 21-01 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP-OV) District, addressed as 1775 Airport Road, and take any action necessary.

### **BACKGROUND**

The subject property was annexed by the City Council on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. On February 22, 2022, the Planning and Zoning Commission approved a *Miscellaneous Case [Case No. MIS2022-001]* for a Treescape Plan but denied the *Alternative Tree Mitigation Settlement Agreement*. On May 2, 2022, the City Council approved a *Miscellaneous Case [Case No. MIS2022-007]* for an *Alternative Tree Mitigation Settlement Agreement* of \$7,800.00 paid into the City's Tree Fund prior to the removal of any trees on the subject property. On December 4, 2023, the City Council approved a *Zoning Change [Case No. Z2023-051]* from Agricultural (AG) District to Light Industrial (LI) District. Prior to this zoning change, there was 1,891 SF single-family home that was constructed in 1950 situated on the subject property; however, this home was razed from the property in 2023. The subject property has remained vacant since the home was removed.

### **PURPOSE**

On March 15, 2024, the applicant -- Jeff Carroll of Jeff Carroll Architects, Inc. -- submitted an application requesting the approval of a Site Plan for a 42,974 SF *Office/Warehouse Facility* on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located on the north side of Airport Road, east of the intersection of Airport Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 12.00-acre tract of vacant land, and a 43.66-acre tract of land with a single-family home situated on it. These two (2) properties are zoned Agricultural (AG) District. Beyond this is SH-66, which is identified as a *TXDOT4D (i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Airport Road, which is identified as a *M4U (i.e. major collector, four [4] lane, undivided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.177-acre tract of land (*i.e. which is part of a larger 10.291-acre tract of land and is identified as Tract 2-01, of the D. Harr Survey, Abstract No. 102*) zoned Light Industrial (LI) District. Beyond that is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*. Beyond this is a vacant 4.114-acre tract of land (*i.e. which is part of a larger 10.291-acre tract of land and is identified as Tract 2-9, of the*



D Harr. Survey, Abstract No. 102). Beyond this is a vacant two (2) acre tract of land (i.e. Tract 2-5, of the D. Harr Survey, Abstract 102). Both of these properties are zoned Agricultural (AG) District. Beyond that is an 18.5175-acre vacant tract of land (i.e. Tract 3-5, of the J Lockhart Survey, Abstract 134) zoned Light Industrial (LI) District and Commercial (C) District.

East: Directly east of the subject property is a ten (10) acre tract of land (i.e. which is part of a larger 74.514-acre tract of land and identified as Tract 22 of the D. Harr Survey, Abstract No. 102), zoned Agricultural (AG) District and developed with the Regional Firearms Training Center owned by the City of Rockwall. East of this is a 64.514-acre tract of land (i.e. which is part of a larger 74.5144-acre tract of land and identified as Tract 15 of the D.Harr Survey, Abstract No. 102), which is zoned to Agricultural (AG) District and developed with an Animal Shelter owned by the City of Rockwall.

West: Directly west of the subject property is a 47.89-acre parcel of land (i.e. Lot 1, Rockwall Municipal Airport), which is zoned Agriculture (AG) District. West of this is a vacant 31.393-acre tract of vacant land (i.e. Tract 3 of the N. Butler Survey, Abstract No. 20) also zoned Agricultural (AG) District. Beyond this is S. John King Boulevard, which is identified as a P6D (i.e. a principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* and an *Office Building 5,000 SF or Greater* are permitted *by-right* land uses in a Light Industrial (LI) District. The submitted site plan, landscape plan, photometric plan, building elevations, and phasing plan generally do not conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District and requires several exceptions which are noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=6.68-Acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 420-Feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=640-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-Feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=36-Feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=34%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space per 300 SF for Office and 1 Parking Space per 1,000 SF for Warehouse (64 Total Required)	X=64; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	X=25%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X=75%; In Conformance

**TREESCAPE PLAN**

No trees are being removed from the subject property. Based on this, no *Treescape Plan* is required.

**CONFORMANCE WITH THE CITY'S CODES**

The applicant is requesting to construct an *office/warehouse building* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is defined as a "... building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ..." In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a "...(a) facility that provides executive, management,

administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices.” In this case, the applicant’s request an *office/warehouse building* is permitted *by-right* in a Light Industrial (LI) District as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan does not conform to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and requires several exceptions as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

Staff has identified the following exceptions:

### (1) Building Materials.

- (a) Primary Materials. According to Subsection 05.01 (A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(e)ach exterior wall of a building’s façade shall consist of a minimum of 90.00% Primary Materials...” or masonry material. The applicant is proposing 8.00%-46.00% primary materials (*i.e. 46.00% on the south elevation, 37.00% on the west elevation, 26.00% on the east elevation, and 8.00% on the north elevation*). This will require an exception from the Planning and Zoning Commission.
- (b) 20% Stone. According to Subsection 06.02(C)(1)(A)(1), *Stone*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “...a minimum of 20.00% natural or quarried stone is required on all building facades.” In this case, the applicant is not providing any stone on the building. This will require an exception from the Planning and Zoning Commission.
- (c) Cementitious Material. According to Subsection 05.01, *General Industrial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he use of cementitious materials (*e.g. stucco, cementitious lap siding, or similar materials approved by the Director of Planning and Zoning or his/her designee*) shall be limited to 50.00% of the building’s exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building’s façade.” In this case, the applicant is proposing stucco within the first four (4) feet from grade. This will require an exception from the Planning and Zoning Commission.
- (d) Accent Brick or Stone. According to Subsection 05.01, *General Industrial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(e)ach building shall incorporate accent brick or stone, or brick and stone patterns and materials that create contrast through color, shape, size, and/or texture to the planes of the primary brick or stone materials used on each building elevation.” In this case, the applicant is not providing any brick or stone to provide breaks in the stucco and metal siding on any of the facades of the building. This will require an exception from the Planning and Zoning Commission.

### (2) Building Articulation.

- (a) Primary Building Facades. According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed four (4) times the wall height. In this case, the proposed buildings do not meet the projection or wall length requirements for primary building facades on all buildings. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (b) Secondary Building Facades. According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed three (3) times the wall height. In this case, the proposed buildings do not meet the projection or wall length requirements for secondary building facades on all buildings. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (3) Residential Adjacency Screening. According to Subsection 05.02, *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." As an alternative, the code does allow the Planning and Zoning Commission to consider the use of three (3) tiered landscaping along the adjacency. In this case, the applicant has provided a landscape plan that shows use of canopy and accent trees planted 50-foot on-center in lieu of the required three (3) tiered screening and 20-foot landscape buffer. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] three (3) additional accent trees in the front parking islands, [2] three (3) additional canopy trees, one at each side of the building, [3] awnings over the large storefront area to help offset the articulation, [4] 25.00% landscaping in lieu of the required 15.00%, [5] an outside pedestrian seating area with a park bench, [6] an outside pedestrian bike rack, [7] a private observation deck, and [8] increased ½ inch caliper on all canopy trees at planting. However, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Central District. The Central District "... is composed of a wide range of land uses that vary from single-family to industrial." In addition, the Central District "... incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- *and City* -- in an east/west direction." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing a *Warehouse/Distribution Center* and *Offices*. Based on this, the applicant's land uses appear to conform with the Comprehensive Plan; however, Chapter 9, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one of the goals of commercial building design, buildings should be "... designed and constructed in unity with the community's existing commercial and residential buildings, and should incorporate high quality materials that will minimize the need for maintenance over time." The polices to implement this goal are "... [1] (n)on-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade that faces a street, public open space, trail or park. [and] [2] Non-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features." In this case, the applicant is requesting exceptions to building materials and building articulation requirements. These exceptions appear to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Staff should point out that a similar land use was approved on a property directly east of the subject property, which was required to meet the material requirements of the Light Industrial (LI) District, and which are called for in the Comprehensive Plan. Based on this the applicant's proposal does not appear to meet the vision of the Comprehensive Plan.

### **STAFF ANALYSIS**

The phasing plan provided by the applicant shows the first portion of the building being built in the first phase, and the building being expanded in the second phase. Staff should note that the phasing plan only lays out the phasing of the building, and all other site plan elements must be constructed with the first phase. This means that with the construction of the first phase all landscaping and irrigation will be required to be installed. Since the site is surrounded by Agricultural (AG) District zoned properties, the applicant is required to provide three (3)-tiered screening. The applicant has provided a landscape plan that shows use of canopy and accent trees planted 50-foot on-center in lieu of the required three (3) tiered screening and 20-foot landscape buffer described in the *Variances and Exceptions Requested by the Applicant* section of this case memo. Staff



should also note that the compensatory measures and alternate screening method offered with the development do not seem to off-set the requested variances; however, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On March 26, 2024 the Architecture Review Board reviewed the proposed building elevations provided by the applicant and recommended that the applicant [1] internalize the fire escape, [2] project the stucco elements out, and [3] extend the parapets back and finish the back side of the parapets in the same material as the exterior facing façade. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the April 9, 2024 Planning and Zoning Commission meeting.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the establishment of a 42,974 SF *Office/Warehouse Facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) All landscaping shall be installed with *Phase 1* of the proposed development.
- (3) The applicant provides a Part 77 from the FAA confirming compliance prior to the submittal of engineering plans.
- (4) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **SP2024-012**

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1775 AIRPORT RD.**

SUBDIVISION **DAVID HARR SURVEY ABSTRACT 102**

LOT

BLOCK

GENERAL LOCATION **NEXT TO MUNIC. AIRPORT**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **LIGHT INDUSTRIAL**

CURRENT USE **N/A**

PROPOSED ZONING **SAME**

PROPOSED USE **OFFICE WHSE**

ACREAGE **6.68 AC**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **TEXAS PRODUCT, LLC**

APPLICANT **CARROLL ARCHITECTS, INC.**

CONTACT PERSON **FRANK CONSELMAN**

CONTACT PERSON **JEFF CARROLL**

ADDRESS **3925 RUGER DR**

ADDRESS **750 E. INTERSTATE 30**

**STE: 110**

CITY, STATE & ZIP **ROYSE CITY, TX 75189**

CITY, STATE & ZIP **ROCKWALL, TX 75087**

PHONE **469.323.1937**

PHONE **214.632.1762**

E-MAIL **FRANK@TEXASPRODUCTS.COM**

E-MAIL **JCE@CARROLLARCH.COM**

## NOTARY VERIFICATION [REQUIRED]

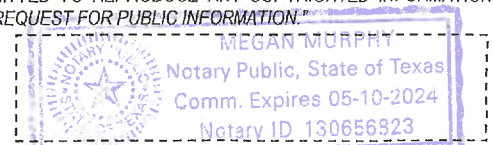
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeff Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ MARCH TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF MARCH, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF March, 2024

Applicant's OWNER'S SIGNATURE Jeff Carroll

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Megan Murphy



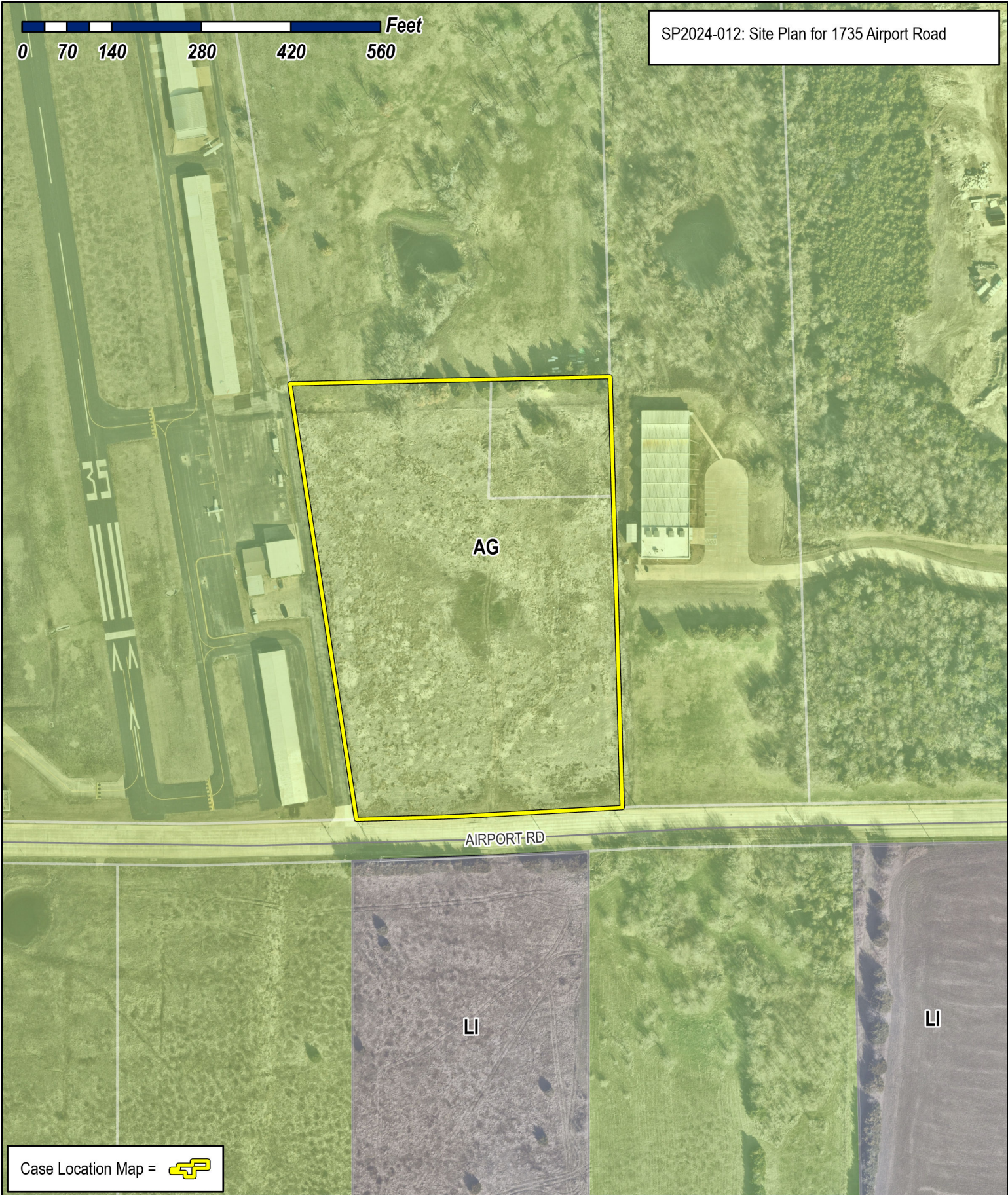
MY COMMISSION EXPIRES


**5-10-24**



0 70 140 280 420 560 Feet

SP2024-012: Site Plan for 1735 Airport Road



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







750 Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

April 2, 2024

Mr. Ryan Miller  
City of Rockwall Director of Planning  
City Hall 385 S. Goliad  
Rockwall, TX 75087

Re: SP2024-012 Exceptions/ Variance Requested  
Texas Products Office Development  
1775 Airport Rd. Office Development  
Rockwall, TX. 75087

Mr. Miller,

This letter serves as a summary Request for Exception/ Variances to the UDC. Zoning – Light Industrial district.

The Variances include 1) Primary Building Articulation, 2) Secondary Building Articulation, 3) Exceeds 10% secondary materials/ under 90% masonry, 4) 20% Stone, 5) Cementitious material within 4’-0” of grade, 6) Accent brick or stone.

- 1) **Primary Building Articulation.** Subsection 05.01 C.1 of Article 5
- 2) **Secondary Building Articulation.** Subsection 05.01 C.1 of Article 5

We are requesting an exception to the vertical and horizontal offset projections. This project does provide a small percentage of articulation with vertical and horizontal projections. The entry area has a raised stucco entry tower and a metal covered canopy stretching outward across the large storefront and projects outward. The stair tower on the west side also gives a vertical projection. We are providing what the ARB requested by projecting the large stucco vertical elements outward 1’-0” and back over the roof 1’-0” to create a thicker element.

- 3) **Exceeds 10% Secondary Materials/ under 90% Masonry.** Subsection 05.01 A.1 of Article 5
- 4) **20% Stone.** Subsection 05.01 A.1. a.1 of Article 5

We are requesting an exception to the secondary material percentage, and stone requirement. The size of this warehouse facility prohibits the use of the typical materials. We are proposing to use stucco and metal materials to break up the long warehouse walls in a contemporary style. The ARB requested the stair tower have a solid wall type material facing the main street and we are complying with this comment. We are stuccoing the side and proposing a metal screening material that’s perforated and open to the elements.

**5) Cementitious Material within 4 feet of grade.** Subsection 05.01 A.2 of Article 5

We are requesting an exception to the cementitious material within 4 feet of grade. These (4) stucco elements project 1'-0" onto a 10'-0" wide sidewalk. This is along the front sidewalk and will have little to no pedestrian traffic to disrupt the stucco.

**6) Accent Brick and Stone to create contrast.** Subsection 05.01 A.1.b of Article 5

We are requesting an exception to the accent brick and stone requirement. We are proposing using stucco and metal siding to create a material, texture, size, and color contrast.

**7) Landscape (3) Tier screening Alternate.** Subsection 01.06 of Article 5

We are requesting an exception to the (3) Tiered screening requirement for the north and east locations. This property is adjacent to the active Municipal airport on the east side and a 100-year flood plain on the north side. We are having to provide a small retaining wall on the north side to help create the new detention pond area. We are proposing to use canopy trees at 50'-0" o.c. and accent trees at 50'-0" o.c.

**Compensatory items we are providing for these exceptions/ variances.**

- 1) We are providing (3)-additional ornamental trees in the front parking islands.
- 2) We are providing (2)-additional canopy trees, one at each side of front of building.
- 3) We are providing awnings over the large storefront area to help offset the articulation.
- 4) City Ordinance requires 20% landscaping. We are proposing 25%. Which is more than required.
- 5) We are proposing an outside pedestrian seating area with a park bench and bike rack.
- 6) We are proposing an outside pedestrian bike rack.
- 7) We are providing a private observation deck.
- 8) The canopy trees will be a 1/2" thicker caliber at planting.

Thank you for your consideration and reviewing our request.

Sincerely,



Jeffrey Carroll  
Carroll Architects, Inc.  
President / CEO

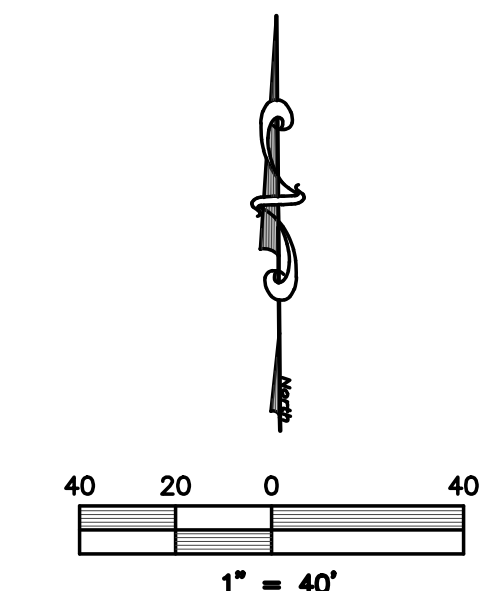
MICHAEL L. PEOPLES JR.  
& SHERYL PEOPLES  
INST. NO. 2019000013271  
O.P.R.R.C.T.

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

- PAVING NOTES:**
- 1) APPROACHES TO BE 8" THICK, 4200 psi, 7.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 2) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 3) DUMPSTER PAD TO BE 7" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 4) ALL OTHER (NON-FIRELANE) PAVING CAN BE 6" THICK (SIDEWALK TO BE 4"), 3000 psi, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
  - 5) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - 6) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
  - 7) NO SAND UNDER PAVING.
  - 8) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND



LOCATION MAP  
(NOT TO SCALE)



**LEGEND**

- = PROPERTY LINE
- SS = EXISTING SANITARY SEWER LINE
- W = EXISTING WATER LINE
- G = EXISTING GAS LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- S = EXISTING SEWER MANHOLE
- G = EXISTING GAS METER
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- FH = PROPOSED FIRE HYDRANT
- = PROPOSED FIRELANE

**\*\* NOTICE TO CONTRACTORS \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY TEXAS HERITAGE SURVEYING, LCC OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**SITE DATA:**

**LOT AREA:**  
6.685 Acres, 291,202 sq.ft.  
**LOT COVERAGE:**  
14.76%  
**FLOOR TO AREA RATIO:**  
6.78:1  
**BUILDING AREA:**  
Office: 8,399 sq.ft.  
Warehouse: 35,575 sq.ft.  
Total: 42,974 sq.ft.  
**BUILDING HEIGHT:**  
1 STORY  
**PROPOSED FUTURE USE:**  
Office  
**IMPERVIOUS AREA (including buildings):**  
55,535 sq.ft.  
**ZONING:**  
PD-10/C  
**PARKING:**  
Required:  
Office (1/300sf) = 28  
Warehouse (1/1000sf) = 36  
Handicap = 3  
Provided:  
Standard = 60  
Handicap = 4  
Total Provided = 64  
**LANDSCAPE AREA:**  
Required: (20%)  
Provided: sq.ft.  
**FIRESPRINKLER:**  
YES  
\* THERE ARE NO EXIST. BUILDINGS ON THIS SITE  
\* THERE ARE TREES ON THIS SITE

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
  - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

INSTALL 14LF OF 6" PVC CLASS 200:  
(1) 8"x6" TAPPING SLEEVE  
(1) 6" VALVE  
(1) FH ASSEMBLY IN ESMT

STA: 0+22  
INSTALL NEW 4' MH  
FL (IN) =565.1  
FL (OUT) =565.0

STA: 2+27  
INSTALL NEW 4' MH  
W/ 81 LF OF PRIVATE  
6" SDR-35 WASTEWATER  
LATERAL W/ DBL  
CLEANOUT @ BLDG  
FL (IN) =567.25  
FL (OUT) =567.15

FOR IRRIGATION SERVICE INSTALL:  
(1) 1" WATER LINE  
(1) 1" METER BOX  
INSTALL METER IN ESMT. & TESTABLE BACKFLOW PREVENTOR

FOR DOMESTIC SERVICE INSTALL:  
(1) 2" WATER LINE  
(1) 2" METER BOX  
INSTALL METER IN ESMT. & TESTABLE BACKFLOW PREVENTOR

INSTALL 39LF OF 6" PVC CLASS 200:  
(1) 8"x6" TAPPING SLEEVE  
(1) 6" VALVE  
(1) FH ASSEMBLY IN ESMT

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



CASE # SP2024-012

**SITE PLAN**

**TEXAS PRODUCTS CORPORATE OFFICE**

1775 AIRPORT ROAD  
David Harr Survey, Abstract No. 102,  
6.685 ACRES  
City of Rockwall, Rockwall County, Texas

OWNER  
**TEXAS PRODUCTS**  
Rockwall, Texas  
Contact: Jeff Carroll (972)732-6085

prepared by

**MONK CONSULTING ENGINEERS, INC.**  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

REG NO.: F-2567  
©2024 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 4/2/24 scale: 1" = 20' sheet: C101

EXISTING FIRE HYDRANT

DETENTION AREA

PROP. STORM TO POND

PROP. WYE INLET

INSTALL 8" WATER LINE:  
(1) 12"x8" SADDLE TAP  
(1) 8" VALVE

EXISTING FIRE HYDRANT

LOT 1  
ROCKWALL MUNICIPAL  
AIRPORT ADDITION  
CAB. B, SLIDE 47  
P.R.R.C.T.

APPROX. LOCATION ZONE A (SFHA)

N 88°13'59" E 497.12'

DETENTION AREA

PROP. POND OUTFALL

DETENTION AREA

NEW 8" W

PROP. WYE INLET

20' UTILITY ESMT

FUTURE FIRELANE

PROP. DRAIN BOX @ DUMPSTER PAD & INLINE OIL/WATER SEPARATOR.

PROP. DUMPSTER PAD W/ 8" PAVING. CONSTRUCT 8" MASONRY ENCLOSURE TO MATCH BLDG & SELF MATCHING METAL GATES. (SEE SITE DETAILS)

FUTURE BLDG.  
60,321 S.F.

PROP. BLDG.  
42,974 S.F.  
FF=575.0

PROPOSED PARKING (TYPICAL)

PROP. FIRELANE, ACCESS & UTILITY EASEMENT

20' ROAD DEDICATION  
CAB. B, SLIDE 47; P.R.R.C.T.

PROP. CONCRETE MUTUAL ENTRANCE. REMOVE EX. CURB & REPLACE EX. ENTRANCE AS NEEDED CONST. LONGITUDINAL BUTT JOINT PER CITY STDS.

HANDICAP PARKING W/ WHEELSTOP & SIGN (TYP)

INSTALL 8" WATER LINE:  
(1) 12"x8" SADDLE TAP  
(1) 8" VALVE

PROP. CONCRETE ENTRANCE. SAWCUT & REMOVE EX. CURB (1) CONST. LONGITUDINAL BUTT JOINT PER CITY STDS.

TOP OF RIM ELEV.= 575.19

TRANS.

TOP OF RIM ELEV.= 570.04 FL= 563.04

TOP OF RIM ELEV.= 573.66

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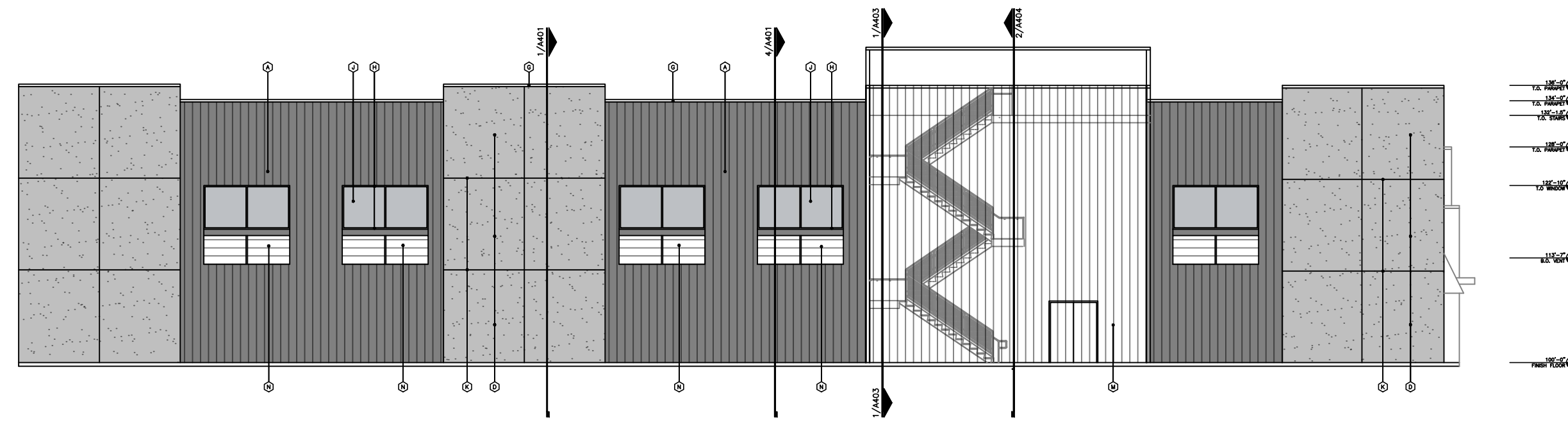
TOP OF RIM ELEV.= 570.04 FL= 563.04

TOP OF RIM ELEV.= 573.66

TOP OF RIM ELEV.= 570.04 FL= 563.04

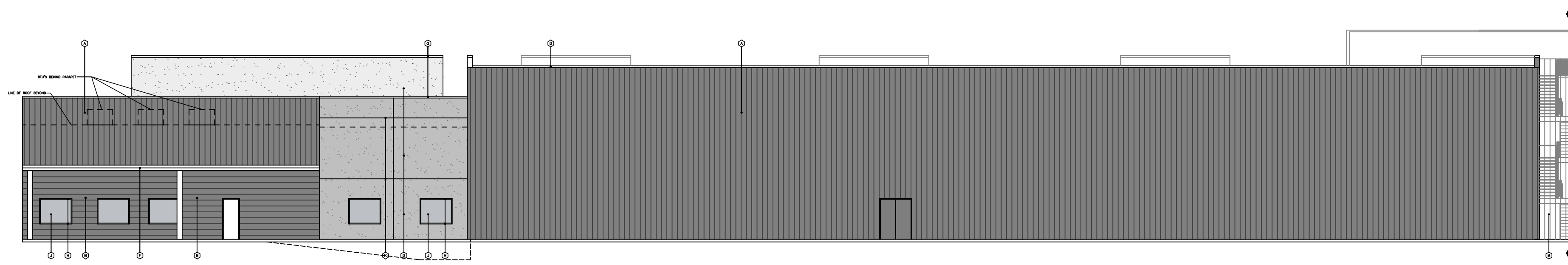
TOP OF RIM ELEV.= 573.66





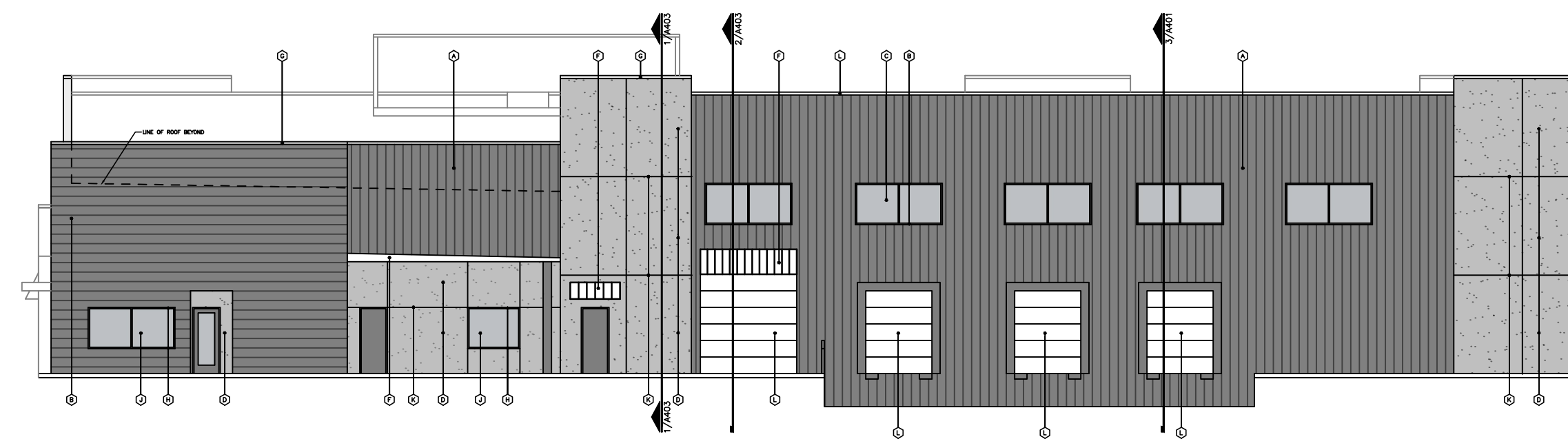
MTL SIDING - 2,407 S.F. - 41%  
 STUCCO - 2,193 S.F. - 37%  
 MTL SCREEN - 1,332 S.F. - 22%  
 TOTAL - 5,932 S.F. - 100%

**4 WEST ELEVATION**  
 SCALE: 1/16" = 1' - 0"



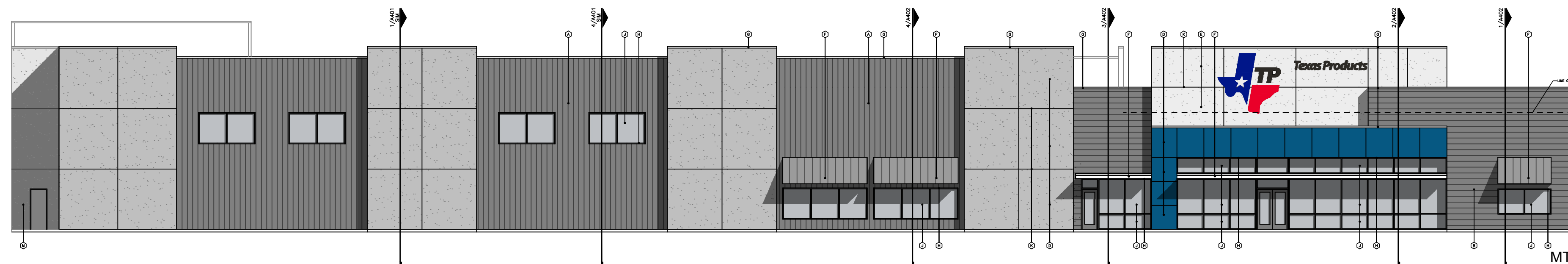
MTL SIDING - 8,416 S.F. - 92%  
 STUCCO - 744 S.F. - 8%  
 TOTAL - 9,160 S.F. - 100%

**3 NORTH ELEVATION**  
 SCALE: 1/16" = 1' - 0"



MTL SIDING - 3,771 S.F. - 74%  
 STUCCO - 1,329 S.F. - 26%  
 TOTAL - 5,100 S.F. - 100%

**2 EAST ELEVATION**  
 SCALE: 1/16" = 1' - 0"



MTL SIDING - 4,074 S.F. - 49%  
 STUCCO - 3,900 S.F. - 46%  
 ALUCOBOND - 410 S.F. - 5%  
 TOTAL - 8,384 S.F. - 100%

**1 SOUTH ELEVATION**  
 SCALE: 1/16" = 1' - 0"

EXTERIOR FINISH SCHEDULE	
A	EXTERIOR METAL, SIDING PANELS, VERTICAL, COLOR - BLACK
B	EXTERIOR METAL, SIDING PANELS, HORIZONTAL, COLOR - BLACK
C	ALUCOBOND METAL PANEL, SIZE AS SHOWN, COLOR INTERSTATE BLUE - MFG PAC-CLAD
D	STUCCO: (3 PART SYSTEM) W/ ELASTOMERIC FINISH COAT - COLOR - SW 9163 TIN LIZZIE
E	STUCCO: (3 PART SYSTEM) W/ ELASTOMERIC FINISH COAT - COLOR - SW 7661 REFLECTION @ LOGO PANEL
F	AWNINGS: PREFINISHED MTL AWNINGS PANELS, COLOR - GREY
G	PREFINISHED METAL COPING COLOR - GREY
H	ALUMINUM STOREFRONT, COLOR - ANODIZED ALUM
J	GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 20% - BLUE
K	STUCCO: CONTROL JOINTS AS SHOWN
L	OVERHEAD SECTIONAL DOOR, COLOR - MED GREY
M	STAIR SCREEN
N	METAL VENTS, COLOR - BLACK

NOTES:  
 1. ALL MECHANICAL EQUIPMENT IS BEHIND PARAPET WALLS  
 2. ALL PARAPET WALLS WILL BE FINISHED ON BACK SIDE

ISSUE:	
SITE PLAN:	03-15-2024
OWNER REVIEW:	03-20-2024

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NEW OFFICE/WAREHOUSE FOR  
**TEXAS PRODUCTS**  
 CORPORATE OFFICE  
 1775 Airport Road  
 Rockwall, Texas 75087

CITY OF ROCKWALL CASE NUMBER: SP2024-012	
LEGAL DESCRIPTION AND/OR ADDRESS: DAVID HARR SURVEY, ABSTRACT # 102, ROCKWALL, COUNTY, TEXAS. CONVEYED FROM JO ANN ATHEY, GUARDIAN TO ADD REAL ESTATE, LTD.	
OWNER Mr. Frank Conselman Texas Products, LLC 3925 Rugor Dr. Royse City, TX 75189	APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: j@carrollarch.com ATTN: Jeff Carroll
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.	
WITNESS OUR HANDS, this _____ day of _____.	
Planning & Zoning Commission, Chairman Director of Planning and Zoning	

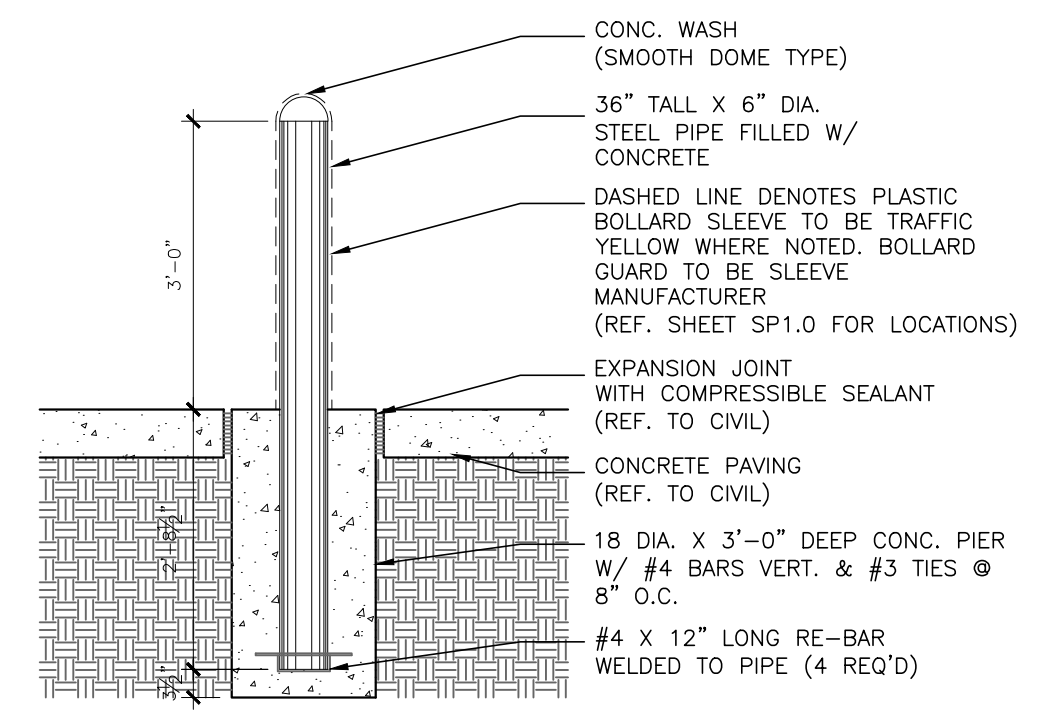
**CARROLL**  
 architects  
 750 E. Interstate 30  
 Suite 110  
 Rockwall, TX 75087  
 t: 972-732-6085  
 f: 972-732-8058

**EXTERIOR ELEVATIONS**

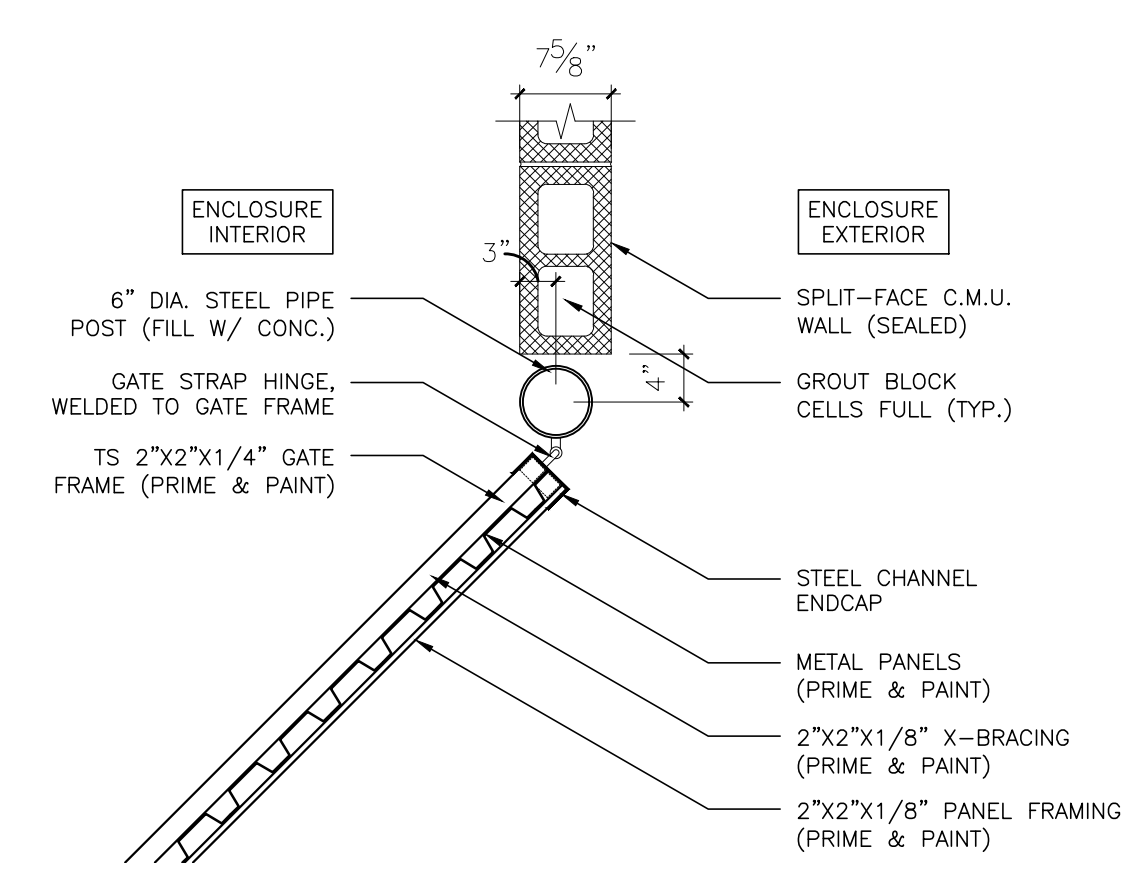
DATE:	MAR 2024	SHEET NO.:	
PROJECT NO.:	2023083		
DRAWN BY:	ZJ		<b>A501</b>
CHECKED BY:			



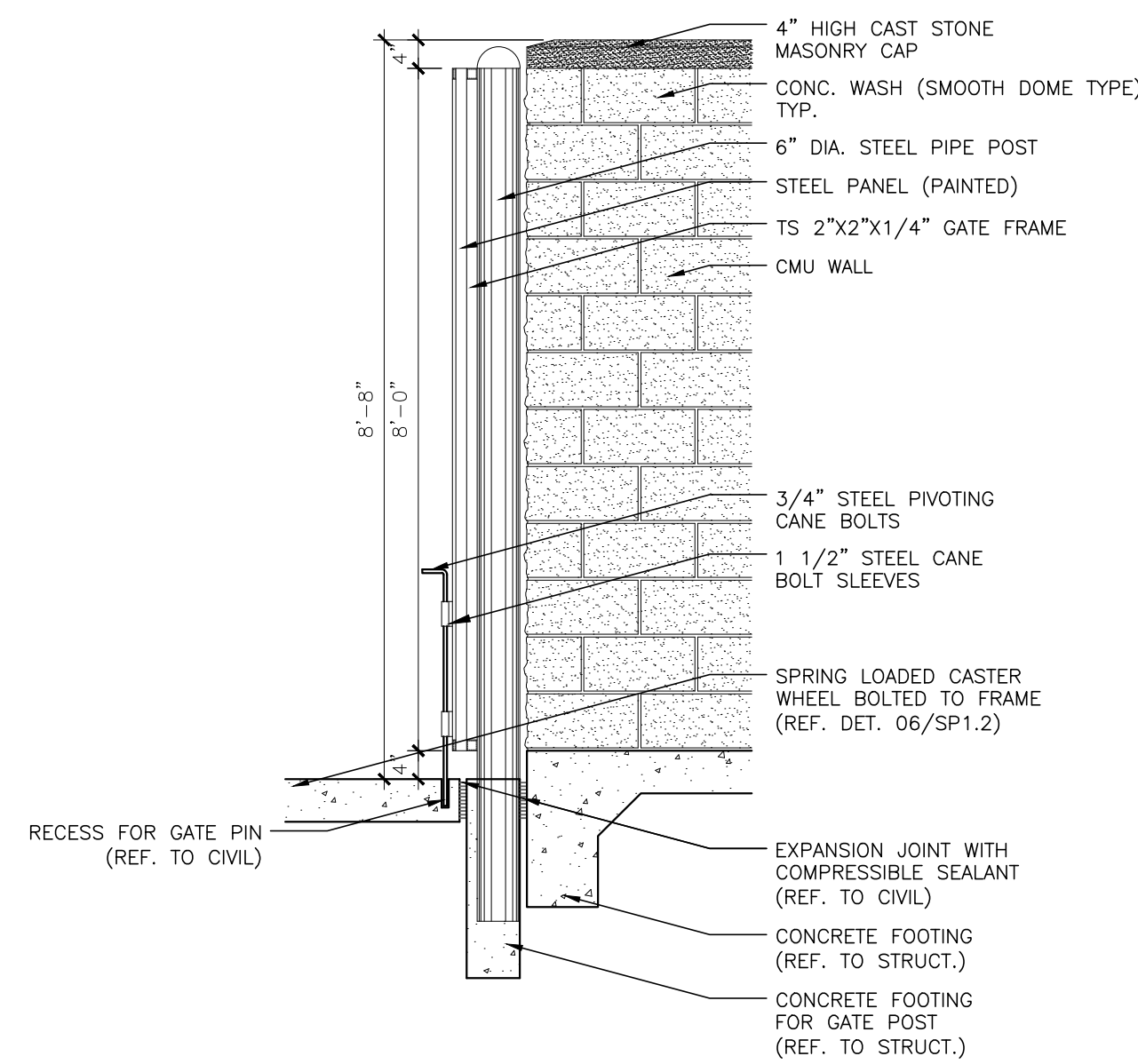
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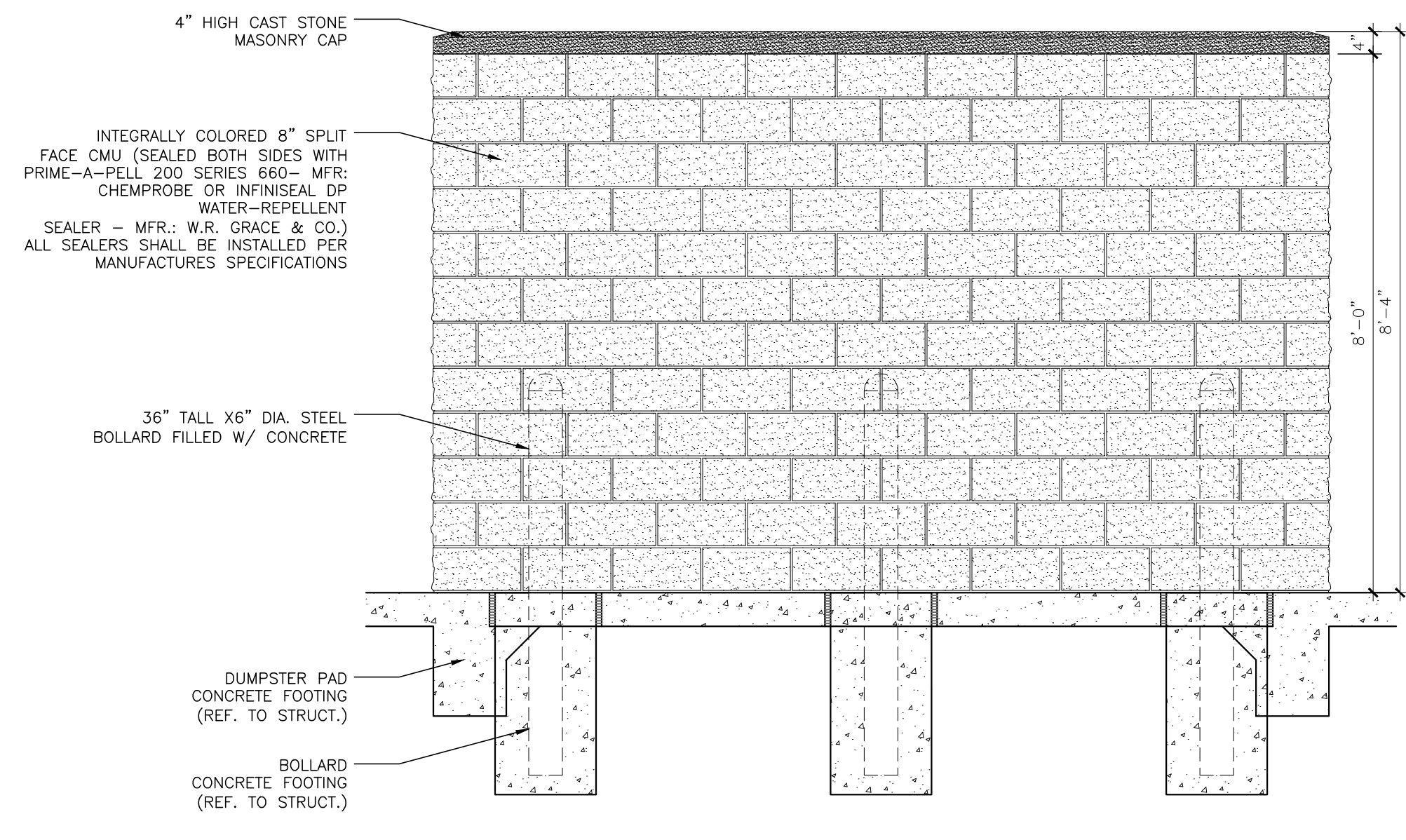
**8 BOLLARD DETAIL @ DUMPSTER**  
 SCALE: 1/2" = 1'-0"



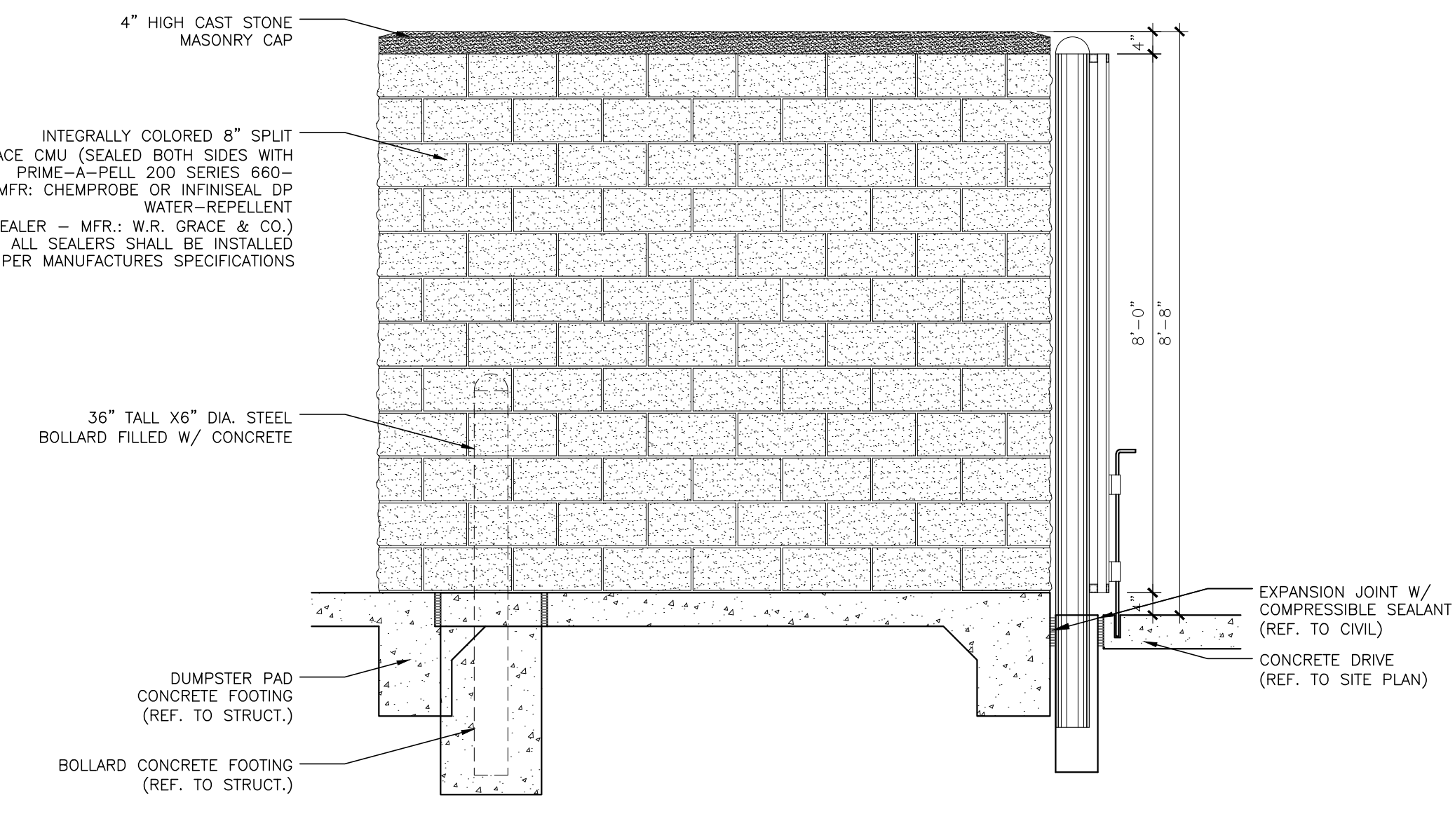
**7 DUMPSTER ENCLOSURE GATE DETAIL**  
 SCALE: 3/4" = 1'-0"



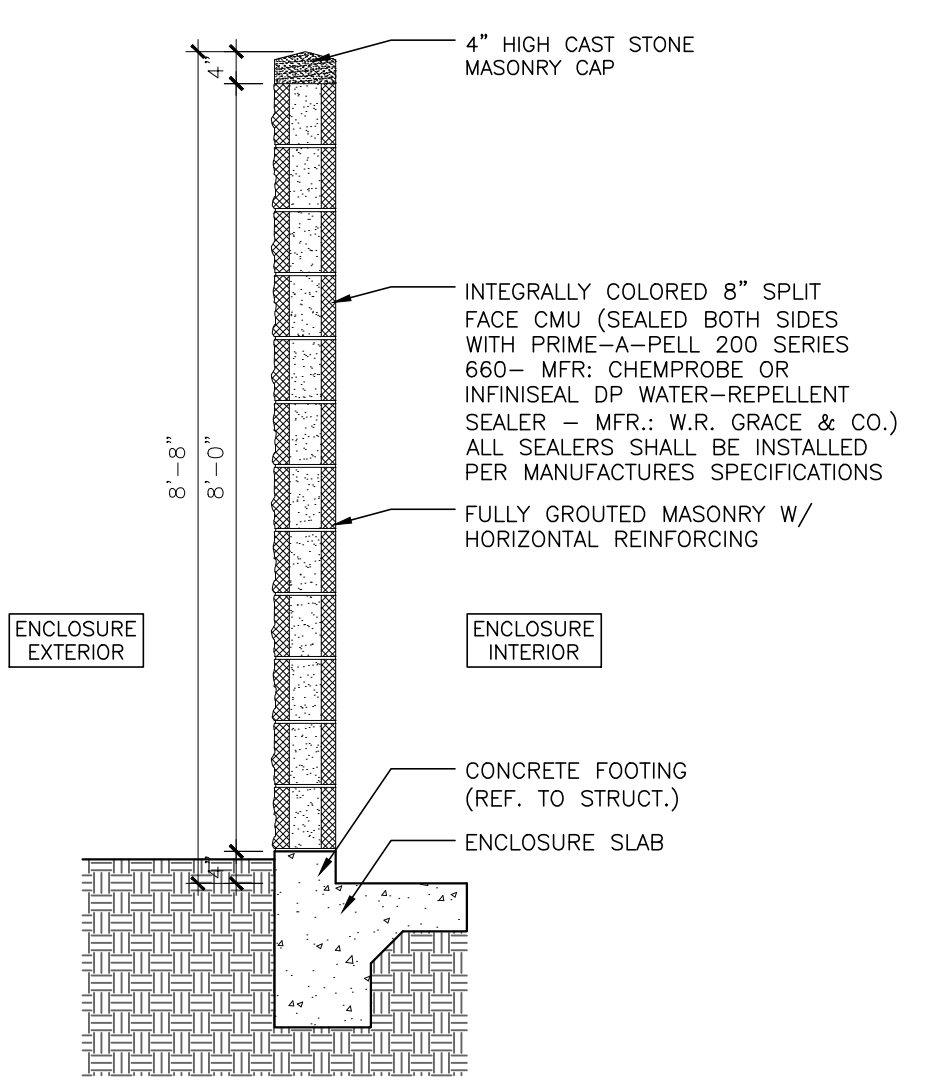
**6 GATE SECTION @ DUMPSTER ENCLOSURE**  
 SCALE: 1/2" = 1'-0"



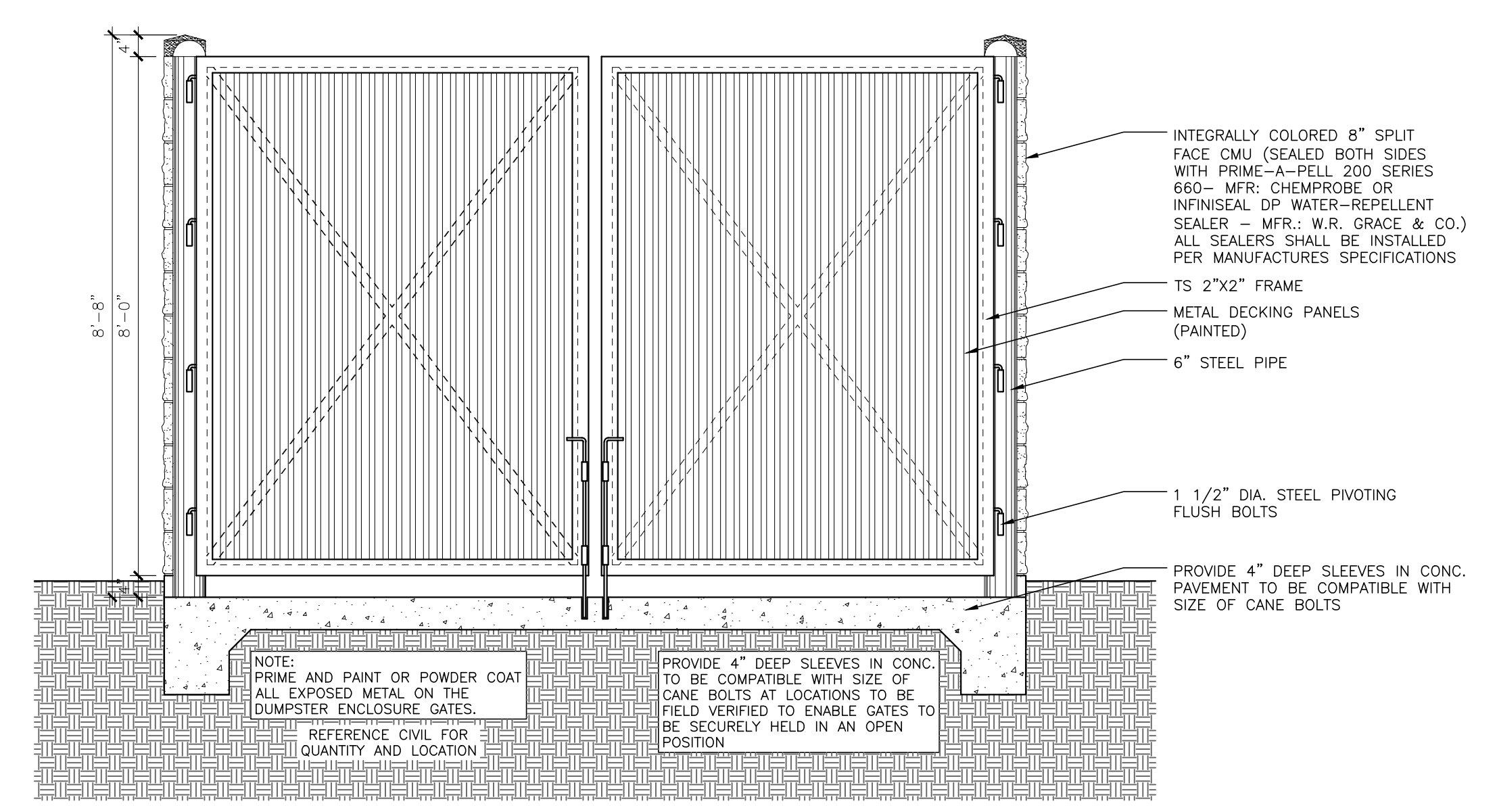
**5 DUMPSTER ENCLOSURE REAR ELEVATION**  
 SCALE: 1/2" = 1'-0"



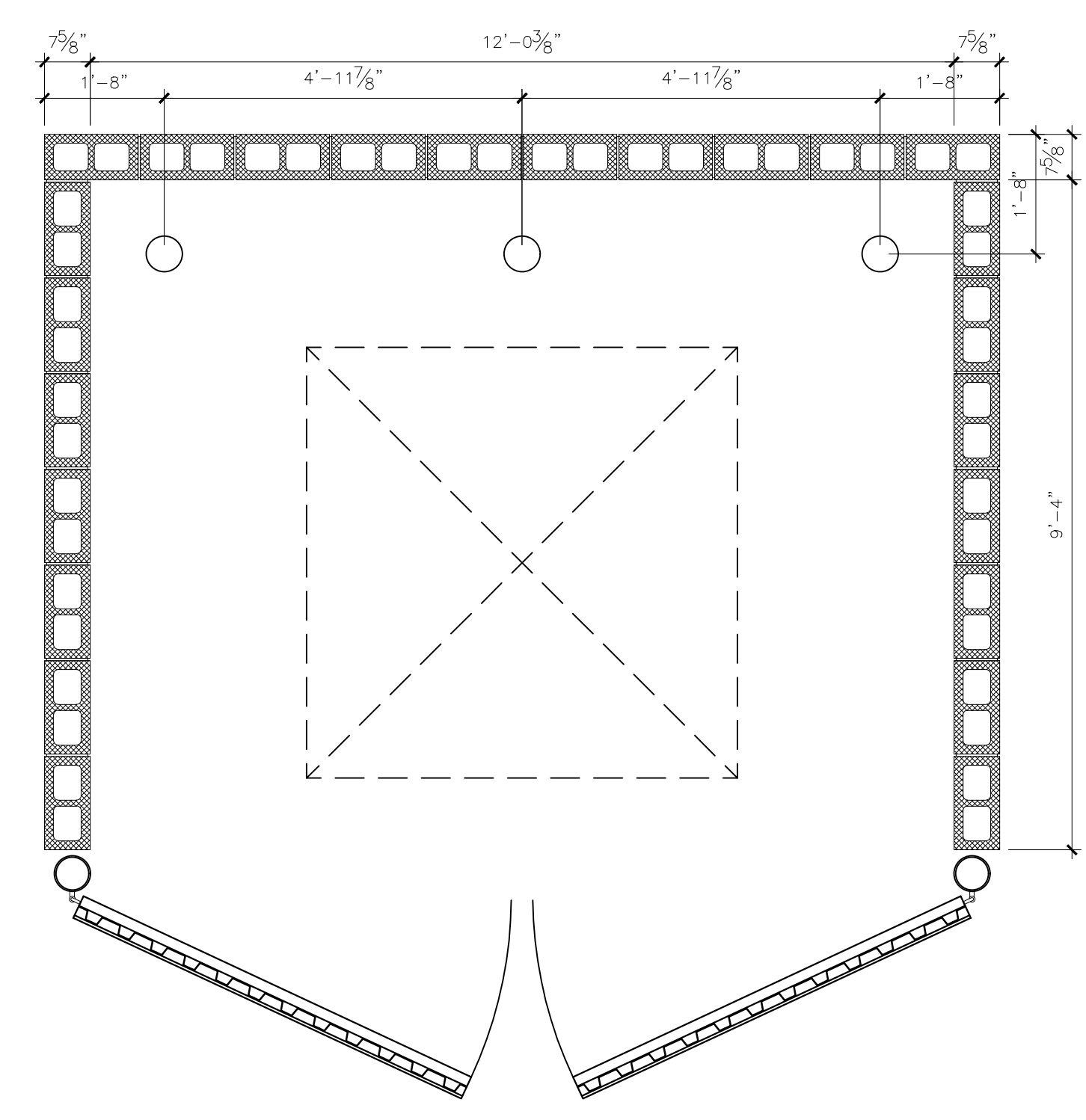
**4 DUMPSTER ENCLOSURE SIDE ELEVATION**  
 SCALE: 1/2" = 1'-0"



**3 WALL SECTION @ DUMPSTER ENCLOSURE**  
 SCALE: 1/2" = 1'-0"



**2 DUMPSTER ENCLOSURE FRONT ELEVATION**  
 SCALE: 1/2" = 1'-0"



**1 DUMPSTER ENCLOSURE ENLARGED PLAN**  
 SCALE: 1/2" = 1'-0"

CITY OF ROCKWALL CASE NUMBER: SP2024-XXX	
LEGAL DESCRIPTION AND OR ADDRESS: DAVID HARR SURVEY, ABSTRACT # 102, ROCKWALL, COUNTY, TEXAS. CONVEYED FROM JO ANN ATHEY, GUARDIAN TO ADD REAL ESTATE, LTD.	
OWNER Mr. Frank Conselman Texas Products, LLC 3925 Ruger Dr. Royse City, TX 75189	APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, WITNESS OUR HANDS, this _____ day of _____.	
Planning & Zoning Commission, Chairman	Director of Planning and Zoning

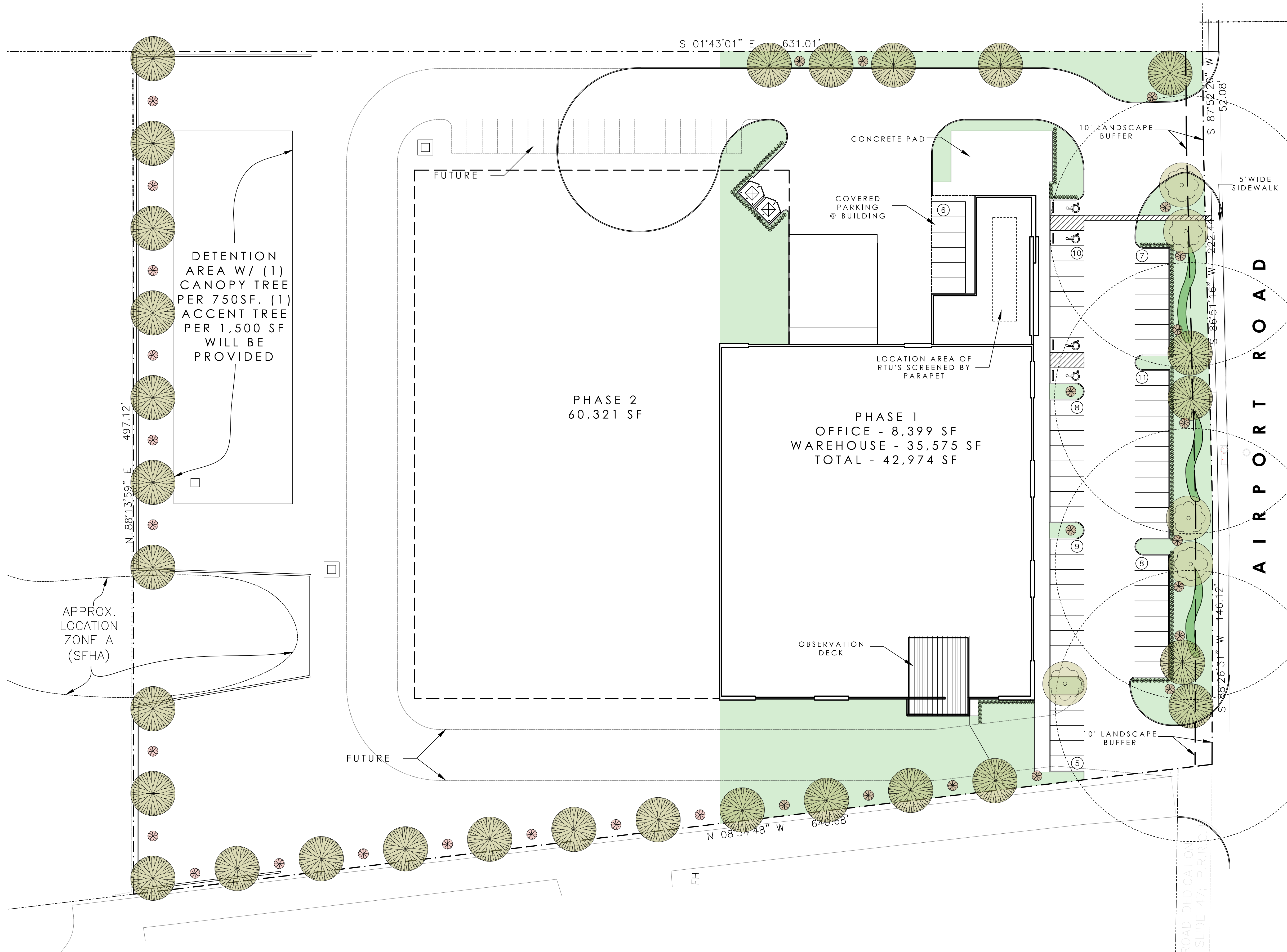
NEW OFFICE/WAREHOUSE FOR  
**TEXAS PRODUCTS**  
 CORPORATE OFFICE  
 1775 Airport Road  
 Rockwall, Texas 75087

**CARROLL**  
 architects  
 750 E. Interstate 30  
 Suite 110  
 Rockwall, TX 75087  
 t: 972-732-6085  
 f: 972-732-8058

**DUMPSTER ENCLOSURE DETAILS**

DATE: MAR 2024  
 PROJECT NO: 2023083  
 DRAWN BY: ZJ  
 SHEET NO: A203  
 CHECKED BY:





SITE DATA TABLE	
SITE AREA PHASE 1	2.9 ACRES (126,462 S.F.)
ZONING	LI LIGHT INDUSTRIAL
PROPOSED USE	OFFICE/WAREHOUSE
BUILDING AREA PHASE 1: OFFICE - WAREHOUSE -	42,974 S.F. 8,399 S.F. 35,575 S.F.
LOT COVERAGE (GROSS AREA)	34%
FLOOR TO AREA RATIO	
BUILDING HEIGHT MAX.	60'-0"

LANDSCAPE TABULATION	
NET AREA PHASE 1	2.9 ACRES (126,462 S.F.)
REQUIRED LANDSCAPE AREA-- 20% OF 126,462 S.F.	25,292.4 S.F.
PROVIDED LANDSCAPE AREA-- 25% OF 126,462 S.F.	31,081 S.F.
IMPERVIOUS COVERAGE-- 75% OF 126,462 S.F.	95,381 S.F.

NOTES:  
- Irrigation shall be provided to all landscaped areas.  
- Tree mitigation for this project for existing trees on this property.  
- All perimeter parking are within 50'-0" of a shade tree.  
- No trees within 5' of public utilities less than 10".  
- No trees within 10' of public utilities 10" or greater

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (DETENTION POND)
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
	BURM
	DESERT WILLOW

TREE & SHRUB CALCULATIONS	
STREET TREES REQUIRED : 1 TREE 50' - 0"	
FRONTAGE ROAD 420' LF. CANOPY TREE	9 TREES 4" CAL
FRONTAGE ROAD 420' LF. ACCENT TREE	9 TREE 4" TALL
TOTAL STREET TREES PROVIDED	18 TREES
LANDSCAPE SCREENING @ NORTH & WEST PROPERTY LINE	
1 CANOPY TREE @ 50'-0" O.C.	20 TREES
1 ACCENT TREE @ 50'-0" O.C.	19 TREES
TOTAL SCREENING TREES	39 TREES

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC), (Subsection 05.04, of Article 08)

- GENERAL NOTES:
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAY.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
  - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
  - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
  - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
  - ALL PARKING SPACES ARE WITHIN 80' OF A TREE
  - ALL LANDSCAPE SHALL BE PROVIDED W/ PHASE 1 CONSTRUCTION

CITY OF ROCKWALL CASE NUMBER:  
SP2024-012

LEGAL DESCRIPTION AND/OR ADDRESS:  
DAVID HARR SURVEY, ABSTRACT # 102,  
ROCKWALL, COUNTY, TEXAS.  
CONVEYED FROM JO ANN ATHEY,  
GUARDIAN TO ADD REAL ESTATE, LTD.

OWNER  
Mr. Frank Conselman  
Texas Products, LLC  
3925 Rugar Dr.  
Royse City, TX 75189

APPLICANT  
Carroll Architects, INC.  
750 E. Interstate 30 #110  
Rockwall, TX 75087  
P: 972-732-6085  
E: jc@carrollarch.com  
ATTN: Jeff Carroll

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

ISSUE:	DATE:	DESCRIPTION:
SITE PLAN:	03-15-2024	
OWNER REVIEW:	03-20-2024	

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NEW OFFICE/WAREHOUSE FOR  
TEXAS PRODUCTS  
CORPORATE OFFICE  
1775 Airport Road  
Rockwall, Texas 75087

**CARROLL**  
architects

750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

LANDSCAPE  
SITE PLAN

DATE: \_\_\_\_\_ SHEET NO: \_\_\_\_\_  
PROJECT NO: 2023083  
DRAWN BY: ZJ  
CHECKED BY: \_\_\_\_\_





## FEATURES & SPECIFICATIONS

**INTENDED USE** — Typical applications include corridors, lobbies, conference rooms and private offices.

**CONSTRUCTION** — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment.

Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

**OPTICS** — LEDs are binned to a 3-step MacAdam Ellipse; 80 CRI minimum. 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

**A+ CAPABLE LUMINAIRE** — This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning when used with Acuity Brands controls products. All configurations of this luminaire are calibrated and tested to meet the Acuity Brands' specifications for chromatic consistency – including color rendering, color fidelity and color temperature tolerance around standard CIE chromaticity coordinates. To learn more about A+ standards, specifications, and testing visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

**UGR** — UGR is zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg per CIE 117-1996 Discomfort Galre in Interior Lighting. [UGR FAQ](#)

**ELECTRICAL** — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

**LUMEN MAINTENANCE** — 70% lumen maintenance at 60,000 hours.

**LISTINGS** — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product. Drivers are ROHS compliant

**BUY AMERICAN ACT** — Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

**WARRANTY** — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed.

Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

## PERFORMANCE DATA

LDN4			
Nominal	Lumens	Wattage	Lm/W
500	523.6	5.74	91.2
750	751.1	8.6	87.3
1000	1045	10.58	98.8
1500	1512	17.5	86.4
2000	2006	22.12	90.7
2500	2551	26.1	97.7
3000	3007	32.1	93.7
4000	4212	43	98.0

### Notes

Tested in accordance with IESNA LM-79-08

Tested to current IES and NEMA standards under stabilized laboratory conditions

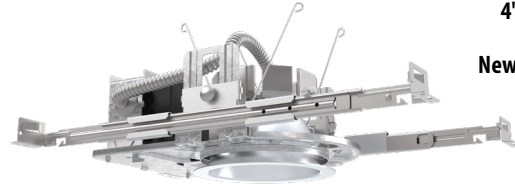
Based on LDN4 AR LSS 35K 80CRI



Catalog Number
Notes
Type

# LDN4 STATIC WHITE

**4" Open and Wallwash LED Non-IC New Construction Downlight**

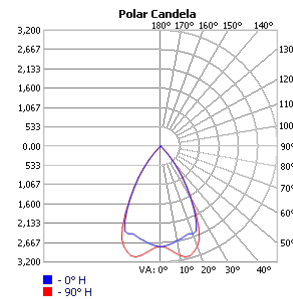


Open Trim

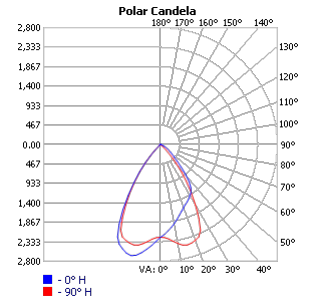


Wallwash Trim

## DISTRIBUTIONS



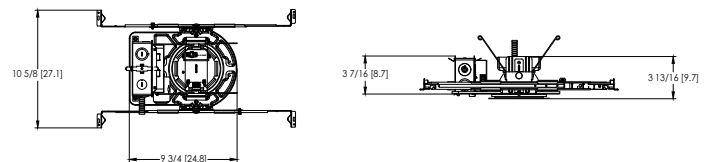
Open



Wallwash

## DIMENSIONS

### LDN4 500-2000 Lumens



Aperture: Ø 4-5/16" [11]  
 Ceiling Cutout: Ø 5-1/8" [13] Self-flanged  
 Overlap Trim: Ø 5-7/16" [13.8]  
 Ceiling Cutout: Ø 5-1/4" [13.3] Flangeless

See page 4 for other fixture dimensions

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN4 35/15 L04 AR LSS MVOLT EZ1

LDN4 Series	Color temperature	Lumens ‡	Trim Style	Trim Color	Trim Finish	Flange Color ‡	
LDN4 4" round	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens	20 2000 lumens 25 2500 lumens 30 3000 lumens 40 4000 lumens	L04 Downlight LW4 Wallwash	AR Clear WR ‡ White BR ‡ Black TRALTBD ‡ RAL painted trim TCPC ‡ Custom painted trim	LSS Semi-specular LD Matte diffuse LS Specular	TRW White painted flange TRBL Black painted flange FRALTBD RAL painted flange only FCPC Custom painted flange only

Voltage	Driver	Emergency ‡	Control Input ‡
MVOLT Multi-volt 120 120V 277 277V 347 ‡ 347V	GZ10 0-10V driver dims to 10% GZ1 0-10V driver dims to 1% D10 Minimum dimming 10% driver for use with JOT D1 Minimum dimming 1% driver for use with JOT EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1% eldoLED DALI SOLDRIVE dim to dark EDAB	(blank) No emergency option EL Emergency battery pack with integral test switch. 10W Constant Power. Not Certified in CA Title 20 MAEDBS ELR Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS ELSD Emergency battery pack with self-diagnostics, 10W Constant Power, integral test switch. Not Certified in CA Title 20 MAEDBS ELRSD Emergency battery pack with self-diagnostics, 10W Constant Power, remote test switch. Not Certified in CA Title 20 MAEDBS E10WCP Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDBS E10WCPR Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDBS E10WRSTAR Emergency battery pack, 10W with remote test switch and lota STAR technology	(blank) No control option NPP16D nLight™ network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). NPP16DER nLight™ network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit. N80 nLight™ Lumen Compensation JOT Wireless room control with "Just One Touch" pairing NPS80EZ nLight™ dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). NPS80EZER nLight™ dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit. NLTAIR2 nLight™ Air enabled NLTAIRER2 nLight™ AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options NLTAIREM2 nLight™ AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options.

Options	
HAO ‡	High ambient option (40°C)
CP ‡	Chicago Plenum
RRL	RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.
BAA	Buy America(n) Act Compliant
90CRI	High CRI (90+)
SF ‡	Single fuse



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit [www.acuitybrands.com/designselect](http://www.acuitybrands.com/designselect).  
\*See ordering tree for details

(Maximum order quantity for design select lead times is 160.)

‡ Option Value Ordering Restrictions	
Option value	Restriction
Lumen Packages	Overall height varies based on lumen package, refer to dimensional charts on page 4
WR, BR	Not available with finish (LSS, LD, LS)
TRALTBD, FRALTBD	RALTBD for pricing only. Replace with applicable RAL number and finish when ready to order. See the RAL BROCHURE for available color options.
TRW, TRBL	Available with clear (AR) trim color only
TCPC, FCPC	CPC options for pricing only. Custom color chip needs to be sent in to your Customer Resolution specialist before order can be processed. Click <a href="#">HERE</a> for more details
347	Not available with emergency options
All Emergency	12.5" of plenum depth or top access required for battery pack maintenance.
NPP16D, NPP16DER	Not available with MVOLT. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
SF	Must specify 120 or 277 volt
N80	Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
NPP16D, NPP16DER, NPPS80EZ, NPS80EZER	Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
NLTAIR2, NLTAIRER2, NLATAIREM2	Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options. Not recommended for metal ceiling installations.
NLTAIR2	When combined with EZ1 or EZ10 drivers, can be used as a normal power
JOT	Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.
HAO	Fixture height is 5-11/16" for all lumen packages with HAO.
CP	Must specify voltage for 3000lm. Not available with emergency battery pack option.
E10WRSTAR	Not available with wet location, EC1, EC6, QDS, CP, 347V, NPS80EZ ER, NLTAIRER2, NLATAIREM2, ALO3 & ALO4 w/DALI, OR 2000-4500 lumens w/JOT. Top access installation or 17.5" plenum clearance required for roomside installation. Not available with integral test switch.



**Accessories:** Order as separate catalog number.

PS1055CP	FMC Power Sentry batterypack, T20 compliant, field installable, 10w constant power
<a href="#">EACISSM 375</a>	Compact interruptible emergency AC power system
<a href="#">EACISSM 125</a>	Compact interruptible emergency AC power system
GRA46 JZ	Oversized trim ring with 6" outside diameter
SCA4	Sloped Ceiling Adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA4 10D.

**Emergency Battery Pack Options - Field Installable**

Battery Model Number	Wattage	Runtime (Minutes)	Lumen Output* @ 120 Lumens/Watt	Other
<a href="#">ILB CP07 2H A</a>	7W	120	840	Storm Shelter/ 2-hour Runtime
<a href="#">ILB CP10 A</a>	10W	90	1200	
<a href="#">ILBLP CP10 HE SD A+</a>	10W	90	1200	Title 20, Self Diagnostic
<a href="#">ILBLP CP15 HE SD A+</a>	15W	90	1800	Title 20, Self Diagnostic
<a href="#">ILB CP20 HE A</a>	20W	90	2400	Title 20
<a href="#">ILB CP20 HE SD A</a>	20W	90	2400	Title 20, Self Diagnostic
<a href="#">ILBHI CP10 HE SD A+</a>	10W	90	1200	347-480V AC Input, Title 20, Self Diagnostic
<a href="#">ILBHI CP15 HE SD A+</a>	15W	90	1800	347-480V AC Input, Title 20, Self Diagnostic

All the above are UL 924 Listed products that are certified for field install external/remote to the fixture.

\*Minimum delivered lumen output to assist in product selection for increased fixture mounting height.

The CP10 delivered emergency illuminations outperforms legacy 1400 lumen fluorescent emergency ballasts.

Please contact us at [techsupport@iotaengineering.com](mailto:techsupport@iotaengineering.com) for any Emergency Battery related questions.

## PHOTOMETRY

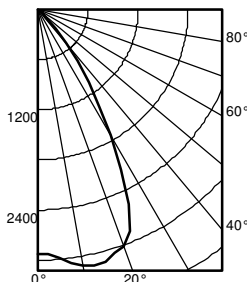
### Distribution Curve

### Distribution Data

### Output Data

### Illuminance Data at 30" Above Floor for a Single Luminaire

**LDN4 35/30 L04AR**, input watts: 32.1, delivered lumens: 3122.6, LM/W = 88.52, spacing criterion at 0= 1.04, test no. ISF 30712P249.



Ave	Lumens	Zone	Lumens	% Lamp
0	2927	0° - 30°	2301.2	73.7
5	2989	0° - 40°	2968.2	95.1
15	3120	0° - 60°	3121.1	100.0
25	2575	0° - 90°	3122.6	100.0
35	1062	90° - 120°	0.0	0.0
45	149	90° - 130°	0.0	0.0
55	3	90° - 150°	0.0	0.0
65	2	90° - 180°	0.0	0.0
75	0	0° - 180°	3122.6	*100.0
85	0			*Efficiency
90	0			

Mounting Height	Initial FC		50% beam - 55.6°		10% beam - 78.0°	
	Beam Diameter	Center FC	Diameter	FC	Diameter	FC
8.0	96.8	5.8	48.4	8.9	9.7	
10.0	52.0	7.9	26.0	12.2	5.2	
12.0	32.4	10.0	16.2	15.4	3.2	
14.0	22.1	12.1	11.1	18.6	2.2	
16.0	16.1	14.2	8.0	21.9	1.6	

LUMEN OUTPUT MULTIPLIERS - CCT					
	2700K	3000K	3500K	4000K	5000K
80CRI	0.950	0.966	1.000	1.025	1.101

LUMEN OUTPUT MULTIPLIERS - FINISH			
	Clear (AR)	White (WR)	Black (BR)
Specular (LS)	1.0	N/A	N/A
Semi-specular (LSS)	0.950	N/A	N/A
Matte diffuse (LD)	0.85	N/A	N/A
Painted	N/A	0.87	0.73

### HOW TO ESTIMATE DELIVERED LUMENS IN EMERGENCY MODE

Use the formula below to estimate the delivered lumens in emergency mode

**Delivered Lumens = 1.25 x P x LPW**

P = Output power of emergency driver. P = 10W for PS1055CP

LPW = Lumen per watt rating of the luminaire. This information is available on the ABL luminaire spec sheet.

The LPW rating is also available at [Designlight Consortium](http://Designlight Consortium).

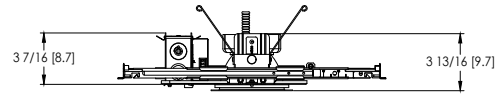
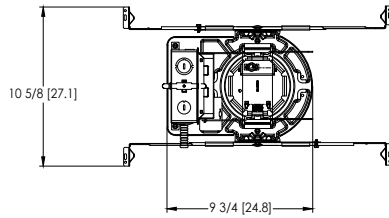
### Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.

# LDN4

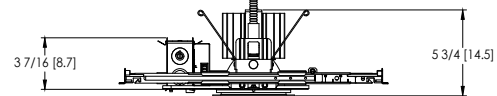
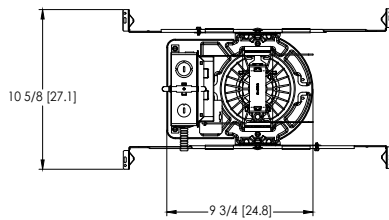
\* All dimensions are inches (centimeters) unless otherwise noted.

## LDN4 500-2000 Lumens



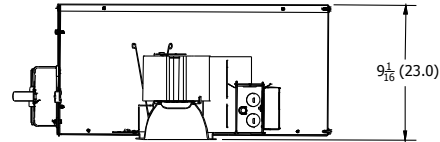
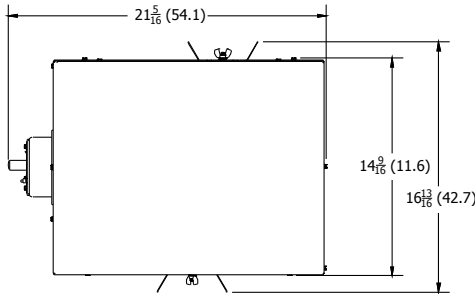
Aperture:  $\varnothing$  4-5/16" [11]  
 Ceiling Cutout:  $\varnothing$  5-1/8" [13] Self-flanged  
 Overlap Trim:  $\varnothing$  5-7/16" [13.8]  
 Ceiling Cutout:  $\varnothing$  5-1/4" [13.3] Flangeless

## LDN4 2000-4000 Lumens



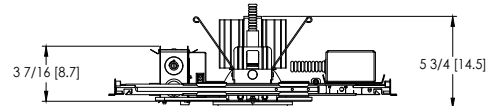
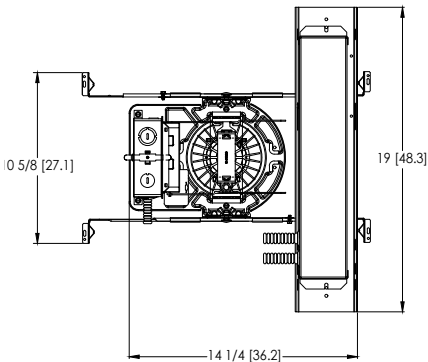
Aperture:  $\varnothing$  4-5/16" [11]  
 Ceiling Cutout:  $\varnothing$  5-1/8" [13] Self-flanged  
 Overlap Trim:  $\varnothing$  5-7/16" [13.8]  
 Ceiling Cutout:  $\varnothing$  5-1/4" [13.3] Flangeless

## LDN4 CP



Aperture: 4-5/16" (11)  
 Ceiling Opening: 5-1/8" (13)  
 Overlap Trim: 5-7/16" (13.8)

## LDN4 EL



Aperture:  $\varnothing$  4-5/16" [11]  
 Ceiling Cutout:  $\varnothing$  5-1/8" [13] Self-flanged  
 Overlap Trim:  $\varnothing$  5-7/16" [13.8]  
 Ceiling Cutout:  $\varnothing$  5-1/4" [13.3] Flangeless



## ADDITIONAL DATA



The Sensor Switch JOT enabled solution offers a wireless, app-free approach to single room lighting control. JOT enabled products use Bluetooth® Low Energy (BLE) technology to enable wireless dimming and switching.

### Diagram



LDN4 Series



Sensor Switch  
WSXA JOT

1. **Power:** Install JOT enabled fixtures and controls as instructed.
2. **Pair:** Insert the pairing tool into the pinhole on the wall switch; press and hold any button for 6 seconds.
3. **Play:** Once paired, each fixture will individually dim down to 10% brightness. All products will be fully functional.

### COMPATIBLE 0-10V WALL-MOUNT DIMMERS

MANUFACTURER	PART NO.	POWER BOOSTER AVAILABLE
Lutron®	Diva® DDTV	
	Diva® DVSC TV	
	Nova T® NTFTV	
	Nova® NFTV	
Leviton®	AWSMT-7DW	CN100
	AWSMG-7DW	PE300
	AMRMG-7DW	
	Leviton Centura Fluorescent Control System	
	IllumaTech® IP7 Series	
Synergy®	ISD BC	RDMFC
	SLD LPCS	
	Digital Equinox (DEQ BC)	
Douglas Lighting Controls	WPC-5721	
Entertainment Technology	Tap Glide TG600FAM120 (120V)	
	Tap Glide Heatsink TGH1500FAM120 (120V)	
	Oasis OA2000FAMU	
Honeywell	EL7315A1019	EL7305A1010 (optional)
	EL7315A1009	
HUNT Dimming	Preset slide: PS-010-IV and PS-010-WH	
	Preset slide: PS-010-3W-IV and PS-010-3W-WH	
	Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V	
	Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V	
	Remote mounted unit: FD-010	
Lehigh Electronic Products	Solitaire	PBX
PDM Electrical Products	WPC-5721	
Starfield Controls	TR61 with DALI interface port	RT03 DALInet Router
WattStopper®	LS-4 used with LCD-101 and LCD-103	

**EXAMPLE**

Group Fixture Control\*

\*Application diagram applies for fixtures with eldoLED drivers only.

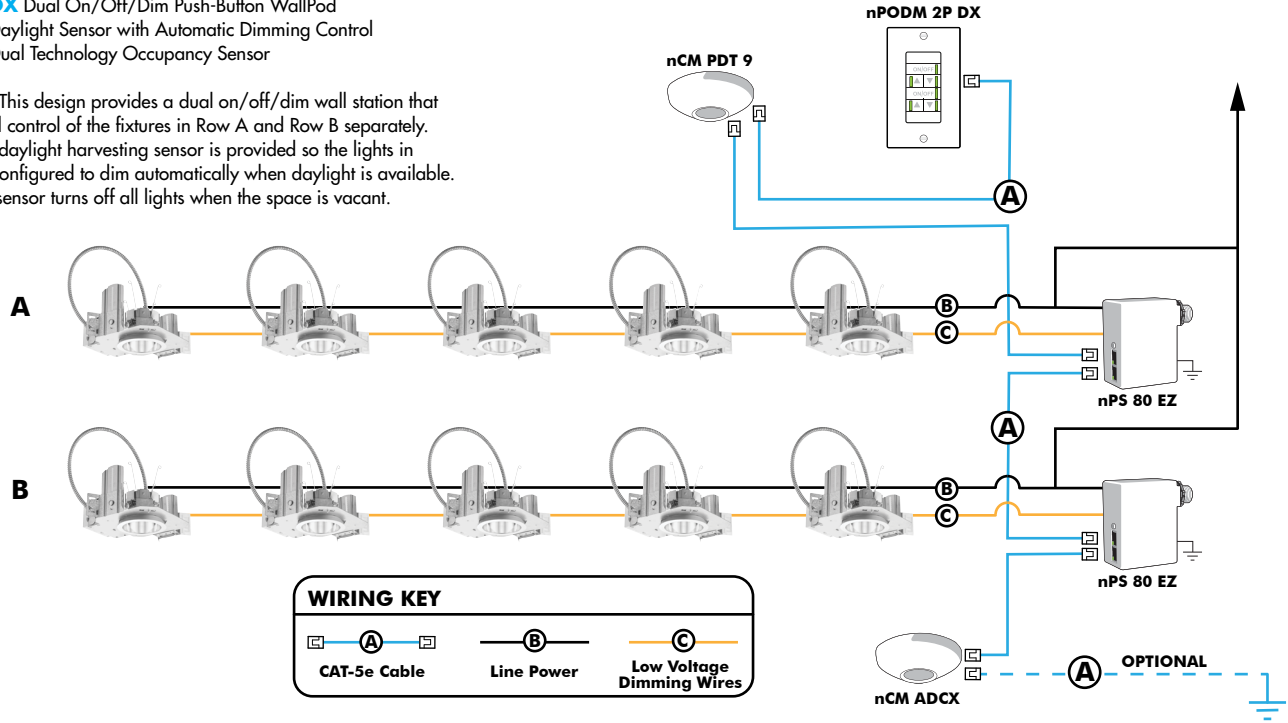
**nPS 80 EZ** Dimming/Control Pack (qty: 2 required)

**nPODM 2P DX** Dual On/Off/Dim Push-Button WallPod

**nCM ADCX** Daylight Sensor with Automatic Dimming Control

**nCM PDT 9** Dual Technology Occupancy Sensor

**Description:** This design provides a dual on/off/dim wall station that enables manual control of the fixtures in Row A and Row B separately. Additionally, a daylight harvesting sensor is provided so the lights in Row B can be configured to dim automatically when daylight is available. An occupancy sensor turns off all lights when the space is vacant.



**Choose Wall Controls**

nLight offers multiple styles of wall controls - each with varying features and user experience.



**Push-Button Wallpod**  
Traditional tactile buttons and LED user feedback



**Graphic Wallpod**  
Full color touch screen provides a sophisticated look and feel

**nLight® Wired Controls Accessories:**

Order as separate catalog number. Visit [www.acuitybrands.com/products/controls/nlight](http://www.acuitybrands.com/products/controls/nlight) for complete listing of nLight controls.

WallPod Stations	Model number	Occupancy sensors	Model Number
On/Off	nPODM (Color)	Small motion 360°, ceiling (PIR/dual Tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPOD DX (Color)	Large motion 360°, ceiling (PIR/dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX (Color)	Wide View (PIR/dual tech)	nWV 16 / nWV PDT 16
<b>Photocell controls</b>	<b>Model Number</b>	Wall Switch w/ Raise/Lower (PIR/dual tech)	nWSX LV DX / nWSX PDT LV DX
Dimming	nCM ADCX	<b>Cat-5 cables (plenum rated)</b>	<b>Model Number</b>
		10', CAT5 10FT	CAT5 10FT J1
		15, CAT5 15FT	CAT5 15FT J1

## nLight® AIR Control Accessories:

Order as separate catalog number. Visit [www.acuitybrands.com/products/controls/nlightair](http://www.acuitybrands.com/products/controls/nlightair).

Wall switches	Model number
On/Off single pole	rPODB [color]
On/Off two pole	rPODB 2P [color]
On/Off & raise/lower single pole	rPODB DX [color]
On/Off & raise/lower two pole	rPODB 2P DX [color]
On/Off & raise/lower single pole	rPODBZ DX WH <sup>1</sup>

### Notes

- 1 Can only be ordered with the RES7Z zone control sensor version.

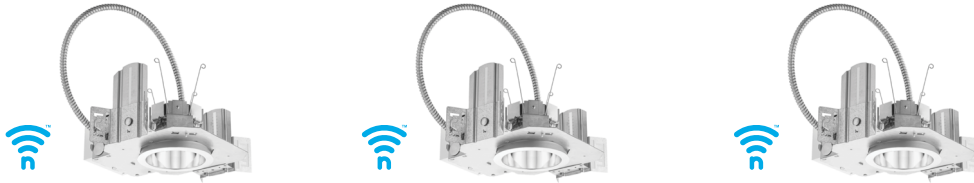
## UL924 Sequence of Operation

The below information applies to all nLight AIR devices with an EM option.

- EM devices will remain at their high-end trim and ignore wireless lighting control commands, unless a normal-power-sense (NPS) broadcast is received at least every 8 seconds.
- Using the CLAIRITY+ mobile app, EM devices must be associated with a group that includes a normal power sensing device to receive NPS broadcasts.
- Only non-emergency rPP20, rLSXR, rSBOR, rSDGR, and nLight AIR luminaires with version 3.4 or later firmware can provide normal power sensing for EM devices. See specification sheets for control devices and luminaires for more information on options that support normal power sensing.

## nLight AIR

nLight AIR is the ideal solution for retrofit or new construction spaces where adding communication is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each Lithonia LDN Luminaire. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.



## Simple as 1,2,3

1. Install the nLight® AIR fixtures with embedded smart sensor
2. Install the wireless battery-powered wall switch
3. With CLAIRITY app, pair the fixtures with the wall switch and if desired, customize the sensor settings for the desired outcome







# WDGE2 LED

## Architectural Wall Sconce

### Precision Refractive Optic



Catalog Number

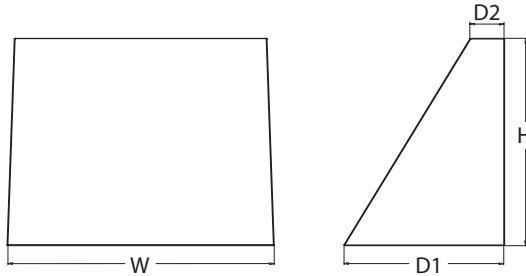
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs  
(without options)



### Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

### WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

### Ordering Information

**EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD**

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P0 <sup>1</sup> P1 <sup>2</sup> P2 <sup>2</sup> P3 <sup>2</sup> P4 <sup>2</sup>	27K 2700K 30K 3000K 40K 4000K 50K 5000K AMB <sup>3</sup> Amber	70CRI <sup>4</sup> 80CRI <sup>4</sup> LW <sup>3</sup> Limited Wavelength	T1S Type I Short T2M Type II Medium T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT <sup>5</sup> 347 <sup>5</sup> 480 <sup>5</sup>	<b>Shipped included</b> SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) <sup>6</sup>
						<b>Shipped separately</b> AWS 3/8inch Architectural wall spacer <sup>7</sup> PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available. <sup>7</sup>

Options	Finish
<b>E10WH</b> Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min) <b>E20WC</b> Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min) <b>PE<sup>8</sup></b> Photocell, Button Type <b>DMG<sup>9</sup></b> 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) <b>BCE</b> Bottom conduit entry for back box (PBBW). Total of 4 entry points. <b>BAA</b> Buy America(n) Act Compliant <b>CCE</b> Coastal Construction <sup>7</sup>	<b>DDBXD</b> Dark bronze <b>DBLXD</b> Black <b>DNAXD</b> Natural aluminum <b>DWHXD</b> White <b>DSSXD</b> Sandstone <b>DBBTXD</b> Textured dark bronze <b>DBL BXD</b> Textured black <b>DNATXD</b> Textured natural aluminum <b>DWHGXD</b> Textured white <b>DSSTXD</b> Textured sandstone
<b>Standalone Sensors/Controls</b> <b>PIR</b> Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. <b>PIRH</b> Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. <b>PIR1FC3V</b> Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. <b>PIRH1FC3V</b> Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. <b>Networked Sensors/Controls</b> <b>NLTAIR2 PIR</b> nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. <b>NLTAIR2 PIRH</b> nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	



COMMERCIAL OUTDOOR

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WDGE2 LED  
 Rev. 02/28/24

## Accessories

Ordered and shipped separately.

WDGEAWS DDBXD W DGE 3/8inch Architectural Wall Spacer (specify finish)  
 WDGE2PBBW DDBXD U W DGE2 surface-mounted back box (specify finish)

### NOTES

- 1 PO option not available with sensors/controls.
- 2 P1-P4 not available with AMB and LW.
- 3 AMB and LW always go together.
- 4 70CRI only available with T3M and T4M.
- 5 347V and 480V not available with E10WH or E20WC.
- 6 Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- 7 For PBBW and AWS require an RFA.
- 8 PE not available in 480V or with sensors/controls.
- 9 DMG option not available with sensors/controls.

## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)					Amber (Limited Wavelength)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	T1S	636	92	0	0	0	666	97	0	0	0	699	101	0	0	1	691	100	0	0	1	712	47	0	0	1
		T2M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T3M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T4M	648	94	0	0	0	679	98	0	0	0	712	103	0	0	0	704	102	0	0	0	726	47	0	0	0
		TFTM	652	95	0	0	0	683	99	0	0	0	717	104	0	0	0	708	103	0	0	0	730	48	0	0	1
P1	11W	T1S	1,105	99	0	0	1	1,157	104	0	0	1	1,215	109	0	0	1	1,200	107	0	0	1					
		T2M	1,150	103	0	0	1	1,204	108	0	0	1	1,264	113	0	0	1	1,249	112	0	0	1					
		T3M	1,150	103	0	0	1	1,205	108	0	0	1	1,265	113	0	0	1	1,250	112	0	0	1					
		T4M	1,126	101	0	0	1	1,179	106	0	0	1	1,238	111	0	0	1	1,223	110	0	0	1					
		TFTM	1,133	101	0	0	1	1,186	106	0	0	1	1,245	112	0	0	1	1,230	110	0	0	1					
P2	19W	T1S	1,801	95	1	0	1	1,886	99	1	0	1	1,981	104	1	0	1	1,957	103	1	0	1					
		T2M	1,875	99	1	0	1	1,963	103	1	0	1	2,061	109	1	0	1	2,037	107	1	0	1					
		T3M	1,876	99	1	0	1	1,964	103	1	0	1	2,062	109	1	0	1	2,038	107	1	0	1					
		T4M	1,836	97	1	0	1	1,922	101	1	0	1	2,018	106	1	0	1	1,994	105	1	0	1					
		TFTM	1,847	97	1	0	1	1,934	102	1	0	1	2,030	107	1	0	1	2,006	106	1	0	1					
P3	32W	T1S	2,809	87	1	0	1	2,942	92	1	0	1	3,089	96	1	0	1	3,052	95	1	0	1					
		T2M	2,924	91	1	0	1	3,062	95	1	0	1	3,215	100	1	0	1	3,176	99	1	0	1					
		T3M	2,925	91	1	0	1	3,063	95	1	0	1	3,216	100	1	0	1	3,177	99	1	0	1					
		T4M	2,862	89	1	0	1	2,997	93	1	0	1	3,147	98	1	0	1	3,110	97	1	0	1					
		TFTM	2,880	90	1	0	1	3,015	94	1	0	1	3,166	99	1	0	1	3,128	97	1	0	1					
P4	47W	T1S	3,729	80	1	0	1	3,904	84	1	0	1	4,099	88	1	0	1	4,051	87	1	0	1					
		T2M	3,881	83	1	0	1	4,063	87	1	0	1	4,267	91	1	0	1	4,216	90	1	0	1					
		T3M	3,882	83	1	0	1	4,065	87	1	0	1	4,268	91	1	0	1	4,217	90	1	0	1					
		T4M	3,799	81	1	0	1	3,978	85	1	0	1	4,177	90	1	0	1	4,127	88	1	0	1					
		TFTM	3,822	82	1	0	1	4,002	86	1	0	1	4,202	90	1	0	1	4,152	89	1	0	1					

Performance Package	System Watts	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)									
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G					
P0	7W	T3M	737	107	0	0	0	763	111	0	0	0	822	119	0	0	0	832	121	0	0	1					
		T4M	721	105	0	0	0	746	108	0	0	0	804	117	0	0	1	814	118	0	0	1					
P1	11W	T3M	1,280	115	0	0	1	1,325	119	0	0	1	1,427	128	1	0	1	1,445	129	1	0	1					
		T4M	1,253	112	0	0	1	1,297	116	0	0	1	1,397	125	0	0	1	1,415	127	0	0	1					
P2	19W	T3M	2,087	110	1	0	1	2,160	114	1	0	1	2,327	123	1	0	1	2,357	124	1	0	1					
		T4M	2,042	108	1	0	1	2,114	111	1	0	1	2,278	120	1	0	1	2,306	121	1	0	1					
P3	32W	T3M	3,254	101	1	0	1	3,369	105	1	0	1	3,629	113	1	0	1	3,675	114	1	0	1					
		T4M	3,185	99	1	0	1	3,297	103	1	0	1	3,552	111	1	0	1	3,597	112	1	0	1					
P4	47W	T3M	4,319	93	1	0	1	4,471	96	1	0	1	4,817	103	1	0	2	4,878	105	1	0	2					
		T4M	4,227	91	1	0	1	4,376	94	1	0	2	4,714	101	1	0	2	4,774	102	1	0	2					



## Electrical Load

Performance Package	System Watts	Current (A)					
		120Vac	208Vac	240Vac	277Vac	347Vac	480Vac
P0	7.0	0.061	0.042	0.04	0.039	--	--
	9.0	--	--	--	--	0.031	0.021
P1	11.0	0.100	0.064	0.059	0.054	--	--
	14.1	--	--	--	--	0.046	0.031
P2	19.0	0.168	0.106	0.095	0.083	--	--
	22.8	--	--	--	--	0.067	0.050
P3	32.0	0.284	0.163	0.144	0.131	--	--
	37.1	--	--	--	--	0.107	0.079
P4	47.0	0.412	0.234	0.207	0.185	--	--
	53.5	--	--	--	--	0.153	0.112

## Lumen Output in Emergency Mode (4000K, 80 CRI, T3M)

Option	Lumens
E10WH	1,358
E20WC	2,230

## Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

## Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.87

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDG2 LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

### LEGEND

<span style="color: yellow;">■</span>	0.25 fc
<span style="color: orange;">■</span>	0.5 fc
<span style="color: red;">■</span>	1.0 fc
<span style="color: darkred;">■</span>	3.0 fc

MH = 10ft  
Grid = 10ft x 10ft



## Emergency Egress Options

### Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



## Control / Sensor Options

### Motion/Ambient Sensor (PIR\_, PIRH\_)

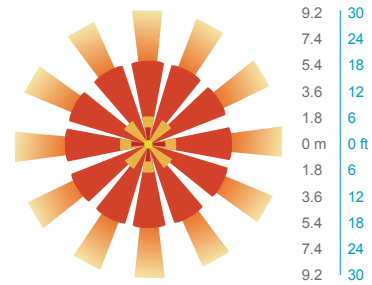
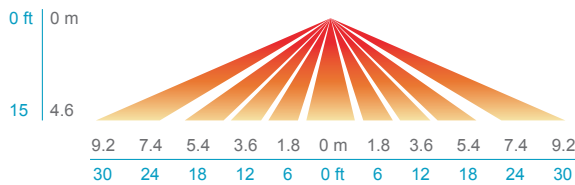
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

### Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

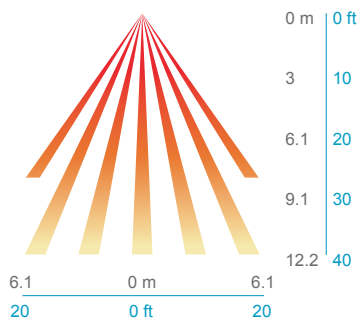
#### PIR

##### HIGH VIEW

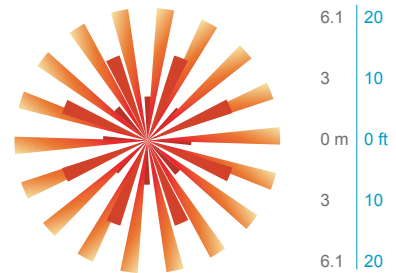


#### PIRH

##### SIDE VIEW



##### TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec



### Motion/Ambient Sensor

D = 7"  
 H = 9" (Standalone controls)  
 11" (nLight AIR controls, 2" antenna will be pointing down behind the sensor)  
 W = 11.5"



### PBBW – Surface-Mounted Back Box Use when there is no junction box available.

D = 1.75"  
 H = 9"  
 W = 11.5"



### AWS – 3/8inch Architectural Wall Spacer

D = 0.38"  
 H = 4.4"  
 W = 7.5"

## FEATURES & SPECIFICATIONS

### INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

### FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

### BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2024  
**APPLICANT:** Kevin Patel; Triangle Engineering  
**CASE NUMBER:** SP2024-015; *Site Plan for a Retail Store with Gasoline Sales (i.e. 7-Eleven)*

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### SUMMARY

Discuss and consider a request by Kevin Patel of Triangle Engineering on behalf of Conor Keilty of Structured REA-Rockwall Land LLC for the approval of a Site Plan for a Retail Store with Gasoline Sales (i.e. 7/11) on a 1.95-acre portion of a larger 12.868-acre parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing and Fit Sport Life Boulevard, and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on July 21, 1997 by *Ordinance No. 97-14 [Case No. A1997-001]*. Based on the City's historical zoning maps, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District at a time between annexation and April 5, 2005. The subject property has remained vacant since its annexation into the City of Rockwall.

### PURPOSE

On March 15, 2024, the applicant -- *Kevin Patel with Triangle Engineering* -- submitted an application requesting approval of a site plan for the purpose of developing a 4,813 SF *Retail Store with Gasoline Sales* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southeast corner of the intersection of Corporate Crossing [*FM-549*] and Fit Sport Life Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the property is a 12.868-acre tract of land (*i.e. Tract 22-2, of the R Irvine Survey, Abstract No. 120*), zoned Commercial (C) District. Beyond this is the IH-30 Frontage Road followed by IH-30. Continuing north are two (2) vacant tracts of land (*i.e. Tract 10-3 [8.23-acres] and Tract 10 [14.8-acres] of the R. Irvine Survey, Abstract No. 120*) that are zoned Commercial (C) District. Beyond this is the corporate limits for the City of Rockwall.

South: Directly south of the subject property is a vacant tract of land identified as Lot 1, Block B, Rockwall Technology Park, Phase IV Addition. This land is zoned Light Industrial (LI) District, is owned by the Rockwall Economic Development Corporation (REDC), and currently serves as regional detention for Phase 2 of the Rockwall Technology Park. Continuing south and adjacent to this tract of land is Capital Boulevard, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is are two (2) large industrial facilities (*i.e. Pratt Industries and Lollipup*), which are zoned Light Industrial (LI) District. Beyond this is Discovery Boulevard, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.



East: Directly east of the subject property is a 6.3770-acre parcel of land identified as Lot 5, Block B, Fit Sport Life Addition and zoned Commercial (C) District developed with a sports facility (i.e. Amerisports). Beyond this is a 20.51-acre tract of land (i.e. Tract 22, of the R. Irvine Survey) zoned for Commercial (C) District. North of this tract of land is a 4.317-acre tract of land (i.e. Tract 22-01 of the R. Irvine Survey), which is occupied by Big-Tex Trailers and zoned Light Industrial (LI) District.

West: Directly west of the subject property is Corporate Crossing [FM-3549], which is identified as a TXDOT4D (i.e. Texas Department of Transportation, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.1917-acre parcel of land (i.e. Love's Country Store) followed by two (2) vacant tracts of land (i.e. Tract 9-9 [1.898-acres] and Tract 9-11 [1.30-acres of the J Lockhart Survey, Abstract No. 134]), and a 3.0654-acre parcel of land identified as Lot 1, Block 1, Ya-Hoo Subdivision (i.e. Photo Technologies). All of these properties are zoned Light Industrial (LI) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Retail Store with Gasoline Sales that has more than Two (2) Dispensers* is a permitted *by-right* land use in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=1.95-acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>60-Feet</i>	<i>X~217-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X~333-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X&gt;15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X&gt;0-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=0-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=26-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X&lt;60%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X&gt;90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1/250 SF = 20 spaces</i>	<i>X=32; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20%</i>	<i>X&gt;20%</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X=42%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=57%; In Conformance</i>

**TREESCAPE PLAN**

The treescape plan provided by the applicant indicates that one (1) cedar tree of 6-caliper inches removed from the site. The applicant is providing approximately 23, four (4) inch caliper canopy trees on site, which will satisfy the required tree mitigation for this development.

**CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 02.02(F)(31), *Retail Store with Gasoline Sales*, of Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Restaurants with Drive Through or Drive-In* as "(a)n establishment that engages in the sale of fuel, lubricants, and/or accessories for motor vehicles, and that may have ancillary retail sales of convenience goods. A dispenser in a *Retail Store with Gasoline Sales* is assumed to serve two (2) standard motor vehicles." In this case the applicant is requesting a *Retail Store with Gasoline Sales that has more than two (2) dispensers*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the standards of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code

(UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

Staff has identified the following variances and exceptions:

(1) **Building Articulation.**

(a) **Primary Building Facades.** According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed four (4) times the wall height. In this case, the proposed buildings do not meet the projection or wall length requirements for primary building facades on all buildings. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

(2) **Four (4)-Sided Architecture.** According to Subsection 06.02 (C), *Articulation Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (*i.e. four [4] or more accent or canopy trees*) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed building does not meet this requirement. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant to provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] providing more than the required 20% stone, and [2] providing more than the required 90% masonry. Staff has also identified several more compensatory measures such as [1] more than the required percentage of landscaping, [2] an excess of five (5) feet of landscape buffer along corporate crossing, and [3] more than 50.00% of the landscaping is located in the front; however, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *IH-30 Corridor District* which is "...the primary retail corridor for the City of Rockwall...and acts as the western gateway for both the City and County of Rockwall," which includes medical uses, retail, and industry. The IH-30 corridor is "...vital to maintain a high per capita sales tax for the City of Rockwall." The applicant's site plan appears to meet the intent of Comprehensive Plan a supportive retail land use within the *IH-30 Corridor District*.

## **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On March 26, 2024 the Architecture Review Board (ARB) reviewed the proposed building elevations provided by the applicant and recommended that the applicant [1] add an awning over all outside displays, [2] internalize the fire escape ladder, [3] show the roofs beyond in each elevation, [4] provide a natural stone, and [5] find an alternate material to the nichiha. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the April 9, 2024 Planning and Zoning Commission meeting.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for a sports complex on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **SEC Corporate Crossing & Fit Sport Life Blvd.**

SUBDIVISION **Fit Sport Life Addition**

LOT **6**

BLOCK **B**

GENERAL LOCATION **SEC Corporate Crossing & Fit Sport Life Blvd.**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **C-Commercial**

CURRENT USE **Vacant Lot**

PROPOSED ZONING **N/A**

PROPOSED USE **Fueling Station w/ C-Store**

ACREAGE **1.95**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **STRUCTURED REA- ROCKWALL LAND LLC**

APPLICANT **Triangle Engineering**

CONTACT PERSON **CONOR KEILTY**

CONTACT PERSON **Kartavya (Kevin) Patel**

ADDRESS **3104 E Camelback Road #2387**

ADDRESS **1782 W. McDermott Dr.**

CITY, STATE & ZIP **Phoenix, AZ 85016**

CITY, STATE & ZIP **Allen, TX 75013**

PHONE **480-856-8808**

PHONE **469.331.8566**

E-MAIL **CONORK@STRUCTUREDREA.COM**

E-MAIL **kpatel@triangle-engr.com**

## NOTARY VERIFICATION [REQUIRED]

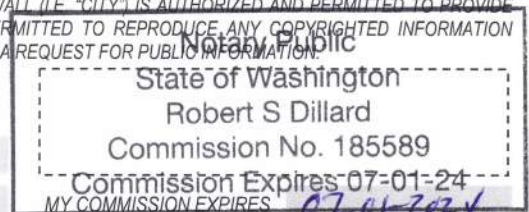
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CONOR KEILTY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF March, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







AG

FIT SPORT LIFE BLVD

C

CORPORATE CROSSING

LI

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







10755 Sandhill Road, Dallas, TX 75238, 214.343.9400, [dimensiongrp.com](http://dimensiongrp.com)  
ARCHITECTURE • CIVIL ENGINEERING • MEP ENGINEERING • PLANNING

April 3, 2024

Re: 7-Eleven  
Store No. 42609  
Fit Sport & Corporate Crossing  
Rockwall, TX

### **Planning Elevations Comments**

- Remove roof from dumpster enclosure. This will create problems with pickup. (Subsection 01.05.B, of Article 05, UDC)

*Response: The roof at the dumpster enclosure has been removed.*

- The building does not meet Primary Building Articulation; particularly the wall projections and projection heights. All four sides are considered primary since four (4) sided architecture is required. (Subsection 04.01, Article 05, UDC)

*Response: A variance from the primary façade vertical and horizontal articulation requirements is requested for the east and south elevations. The building design will compensate for this variance by providing the following compensatory measures:*

1. *Additional stone area above the 20% minimum required, on all four facades.*
2. *Additional masonry area above the 90% minimum required, on all four facades.*

- Four (4) sided architecture is also not met. Each side will should look like the front of the building to meet this requirement. (Subsection 06.02.C.5, of Article 05, UDC)

*Response: A variance from the four (4) sided architecture requirement is requested for the north, east, and south elevations. The building design will compensate for this variance by providing the following compensatory measures:*

3. *Additional stone area above the 20% minimum required, on all four facades.*
4. *Additional masonry area above the 90% minimum required, on all four facades.*

720.536.3180

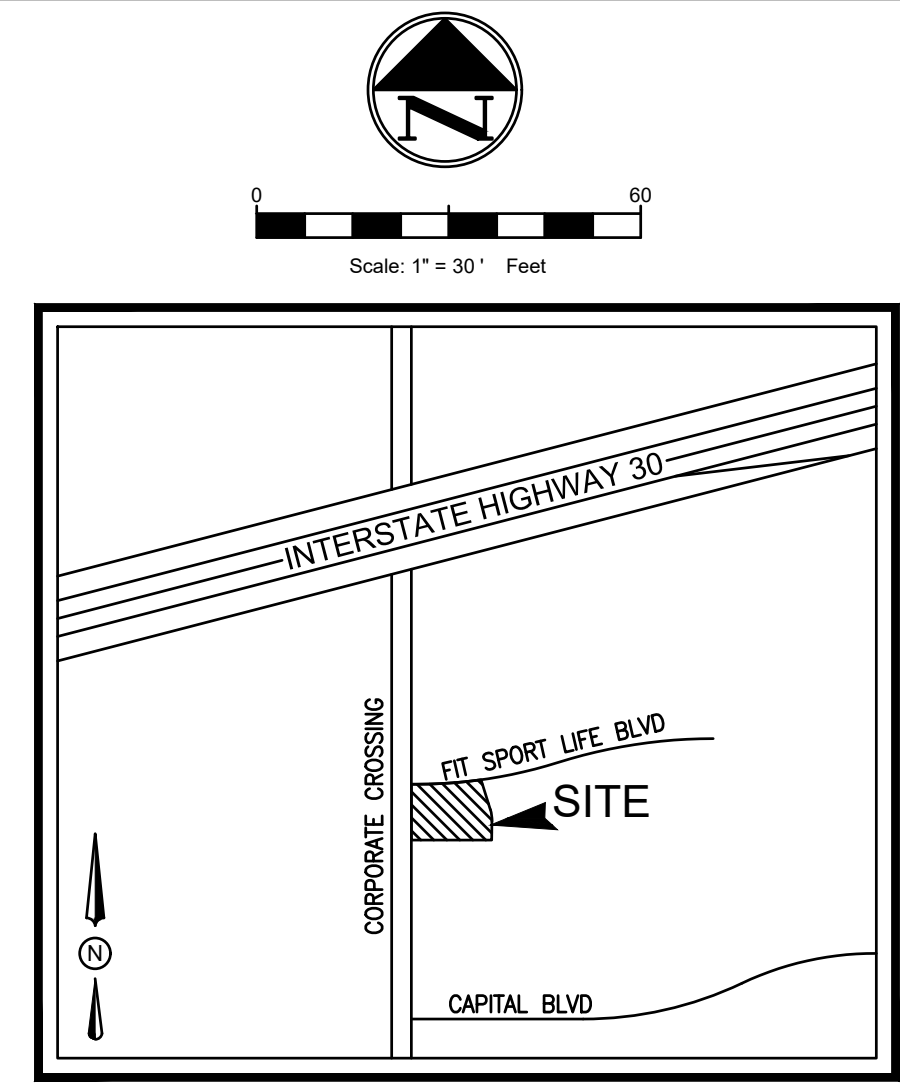
[www.dimensiongrp.com](http://www.dimensiongrp.com)

5600 South Quebec Street, Suite 310B, Greenwood Village, CO, 80111



**FLOOD PLAIN NOTE**  
 NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN THE 100 YEAR FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008. THE SUBJECT PROPERTY IS LOCATED IN THE AREA DESIGNATED AS ZONE "X". (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

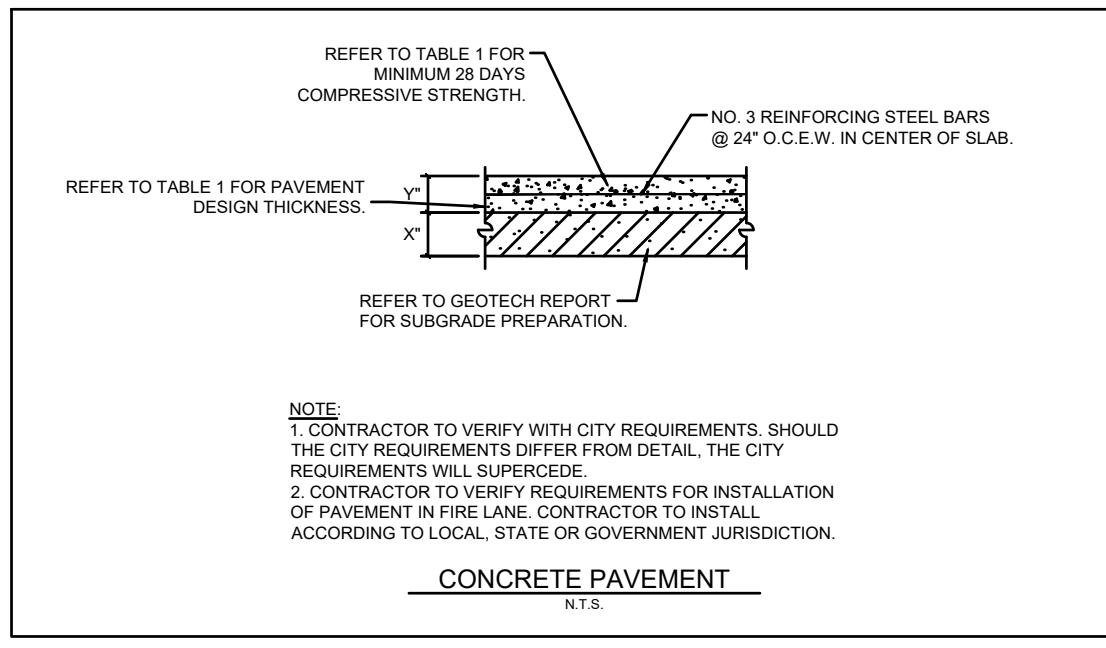
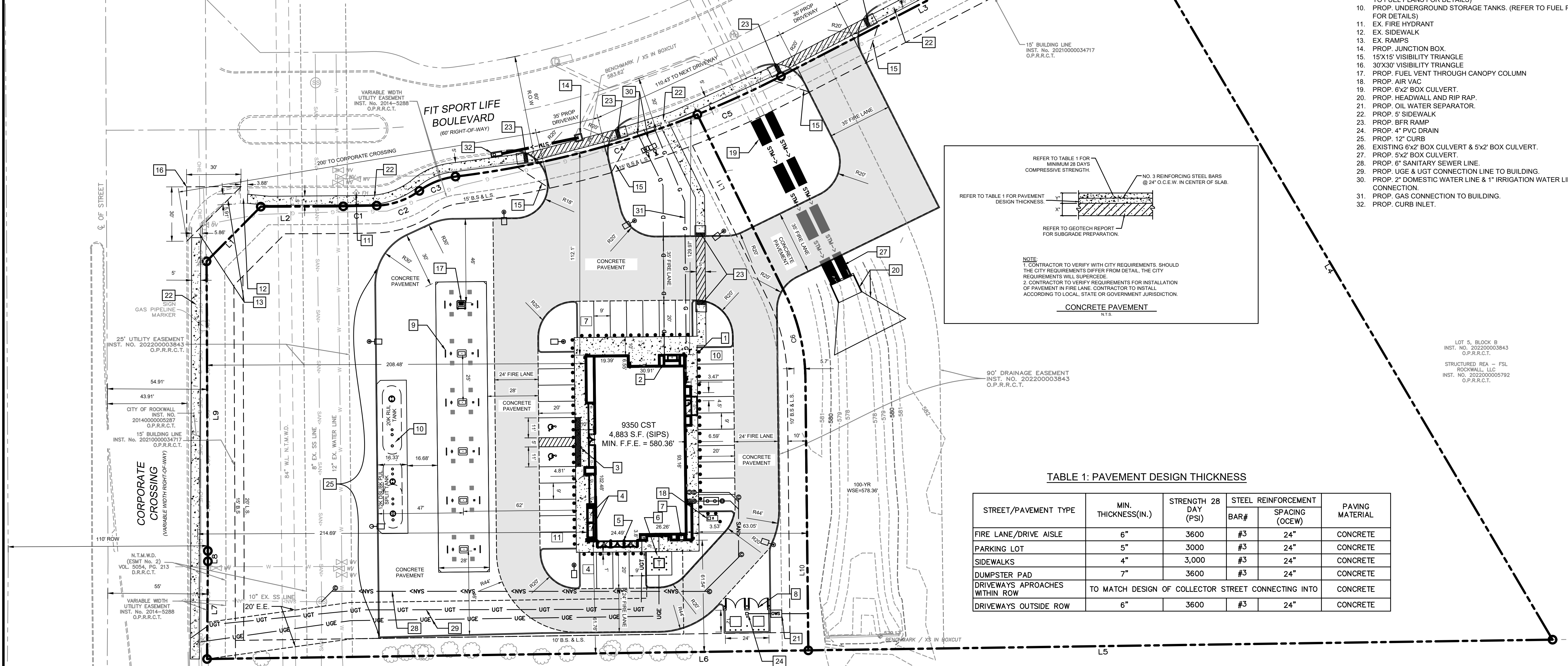
- KEYED NOTES**
1. PROP. 6" BOLLARDS WITH 4.5' SPACING O.C. (TYP.)
  2. PROP. 5'X10' PROPANE TANK
  3. 3' WIDE ADA DETECTABLE SURFACE
  4. ICE MERCHANTISER
  5. PROP. DOOR. REFER TO ARCH PLAN FOR DETAIL.
  6. BUILDING TRANSFORMER
  7. PROP. CO2 CAGE AND NITROGEN CAGE
  8. PROP. DUMPSTER ENCLOSURE (24'X12')
  9. WITH 8' TALL MASONRY SCREENING WALLS AND METAL GATES. REFER TO ARCH PLANS FOR DETAIL.
  10. PROP. OVERHEAD STORAGE TANKS. REFER TO FUEL PLANS FOR DETAILS.
  11. EX. FIRE HYDRANT
  12. EX. SIDEWALK
  13. EX. RAMPS
  14. PROP. JUNCTION BOX
  15. 15'X15' VISIBILITY TRIANGLE
  16. 30'X30' VISIBILITY TRIANGLE
  17. PROP. FUEL VENT THROUGH CANOPY COLUMN
  18. PROP. AIR VAC
  19. PROP. 6'X2' BOX CULVERT.
  20. PROP. HEADWALL AND RIP RAP.
  21. PROP. OIL WATER SEPARATOR.
  22. PROP. 5' SIDEWALK
  23. PROP. BFR RAMP
  24. PROP. 4" PVC DRAIN
  25. PROP. 12" CURB
  26. EXISTING 6'X2' BOX CULVERT & 5'X2' BOX CULVERT.
  27. PROP. 5'X2' BOX CULVERT.
  28. PROP. 6" SANITARY SEWER LINE.
  29. PROP. UGE & UGT CONNECTION LINE TO BUILDING.
  30. PROP. 2" DOMESTIC WATER LINE & 1" IRRIGATION WATER LINE CONNECTION.
  31. PROP. GAS CONNECTION TO BUILDING.
  32. PROP. CURB INLET.



**VICINITY MAP**  
 N.T.S.

**SITE GENERAL NOTES**

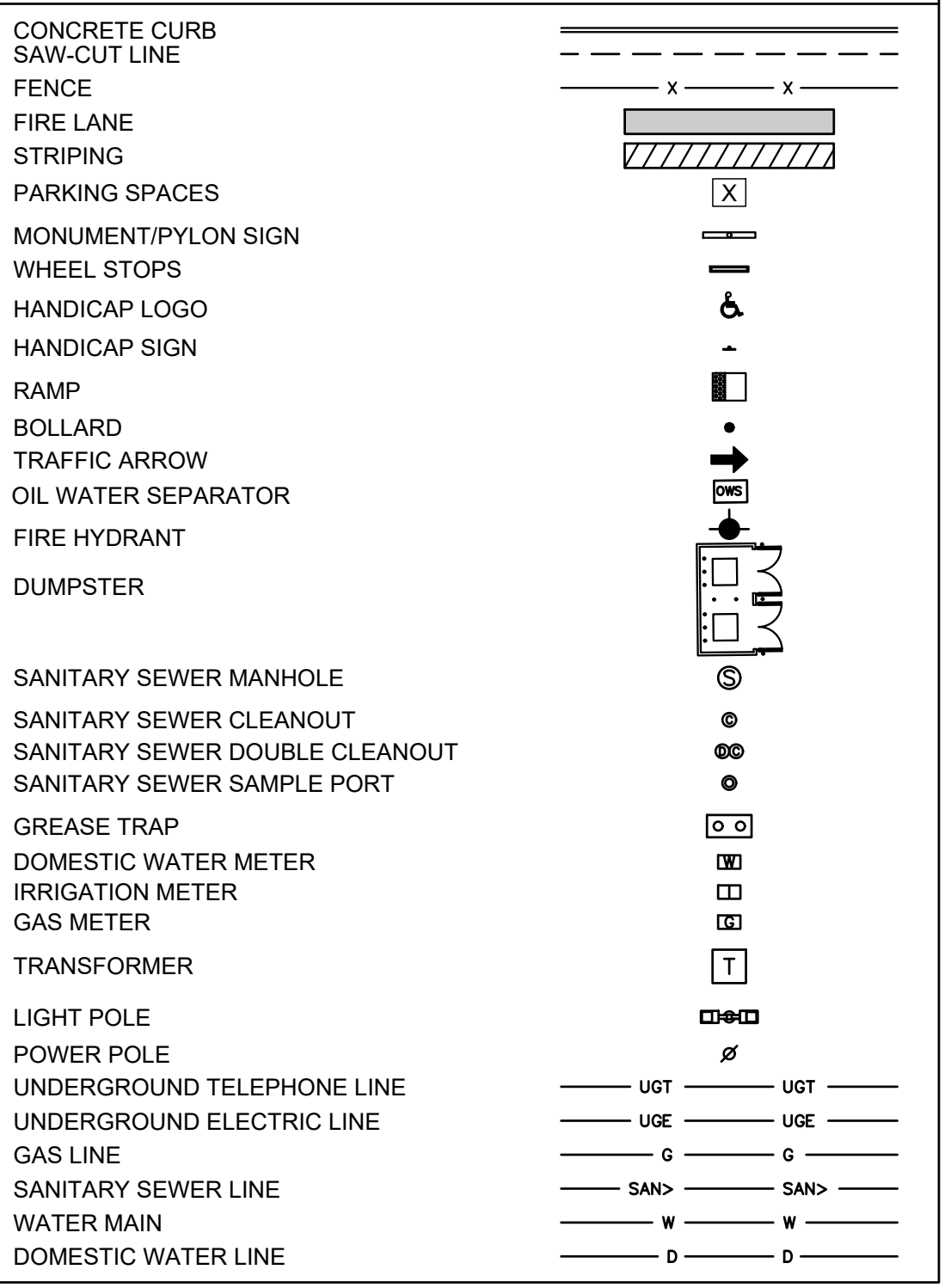
1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
2. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
3. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
4. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
5. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
6. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
7. ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
8. AREA UNDER CANOPY AND DUMPSTER AREA DRAINS TO PROPOSED OIL WATER SEPARATOR.



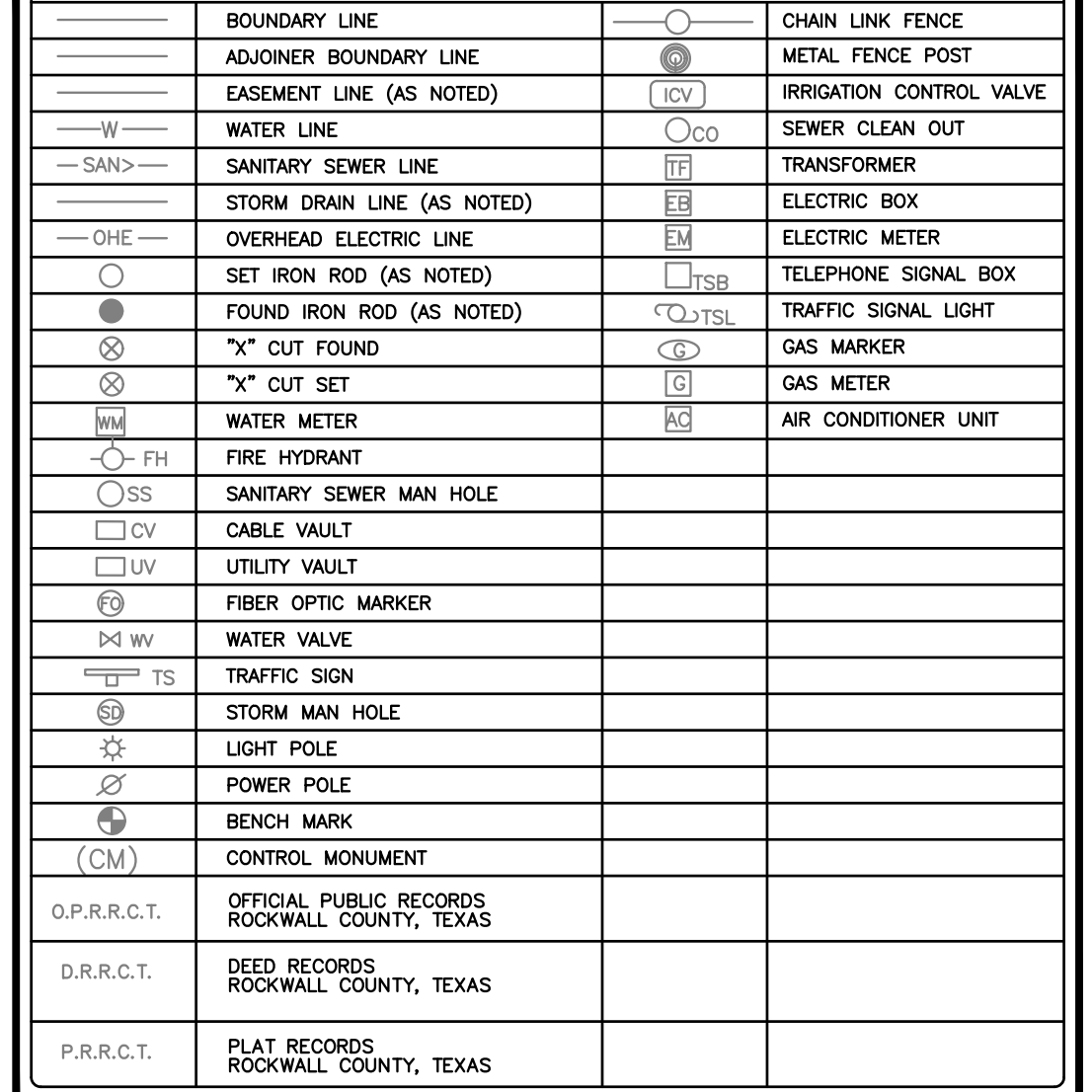
**TABLE 1: PAVEMENT DESIGN THICKNESS**

STREET/PAVEMENT TYPE	MIN. THICKNESS(IN.)	STRENGTH 28 DAY (PSI)	STEEL REINFORCEMENT		PAVING MATERIAL
			BAR#	SPACING (OCEW)	
FIRE LANE/DRIVE AISLE	6"	3600	#3	24"	CONCRETE
PARKING LOT	5"	3000	#3	24"	CONCRETE
SIDEWALKS	4"	3,000	#3	24"	CONCRETE
DUMPSTER PAD	7"	3600	#3	24"	CONCRETE
DRIVEWAYS APPROACHES WITHIN ROW	TO MATCH DESIGN OF COLLECTOR STREET CONNECTING INTO				
DRIVEWAYS OUTSIDE ROW	6"	3600	#3	24"	CONCRETE

**SITE LEGEND**



**EXISTING LEGEND**



**BOUNDARY LINE DATA**

LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 28°06'50" E	109.77'

**BOUNDARY CURVE DATA**

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.55'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

**SITE DATA SUMMARY TABLE**

SITE ACREAGE:	1.95 AC (84,939 S.F.)
ZONING:	C-COMMERCIAL W/ I-30 OVERLAY DISTRICT
PROPOSED USE:	FUELING STATION W/ CONVENIENCE STORE
BUILDING AREA:	4,883 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	26'-8"
BUILDING COVERAGE:	5.75%
FLOOR AREA RATIO:	0.06
IMPERVIOUS AREA:	48,947 S.F. (57.63%)
PERVIOUS/LANDSCAPE AREA:	35,992 S.F. (42.37%)
REGULAR PARKING REQUIRED:	20 SPACES
1 SP PER 250 S.F.	
REGULAR PARKING PROVIDED:	30 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

**WATER METER & SANITARY SEWER SCHEDULE**

ID	TYPE	SIZE	NO.
⊙	DOMESTIC	2"	1
⊙	IRRIGATION	1"	1
⊙	SANITARY SEWER	6"	

**EASEMENT/SETBACK LEGEND**

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING & ZONING

**PROJECT CONTACT LIST**

<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTIYA PATEL, P.E. PHONE: 469-331-8566	<b>DEVELOPER</b> SCHAFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KEILTY PHONE: 480-656-8808 EMAIL: conor@structuredrea.com	

**SITE PLAN**

**7-ELEVEN**  
**1200 CORPORATE CROSSING**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS 75032**  
**FIT SPORT LIFE ADDITION, BLOCK B, LOT 6**

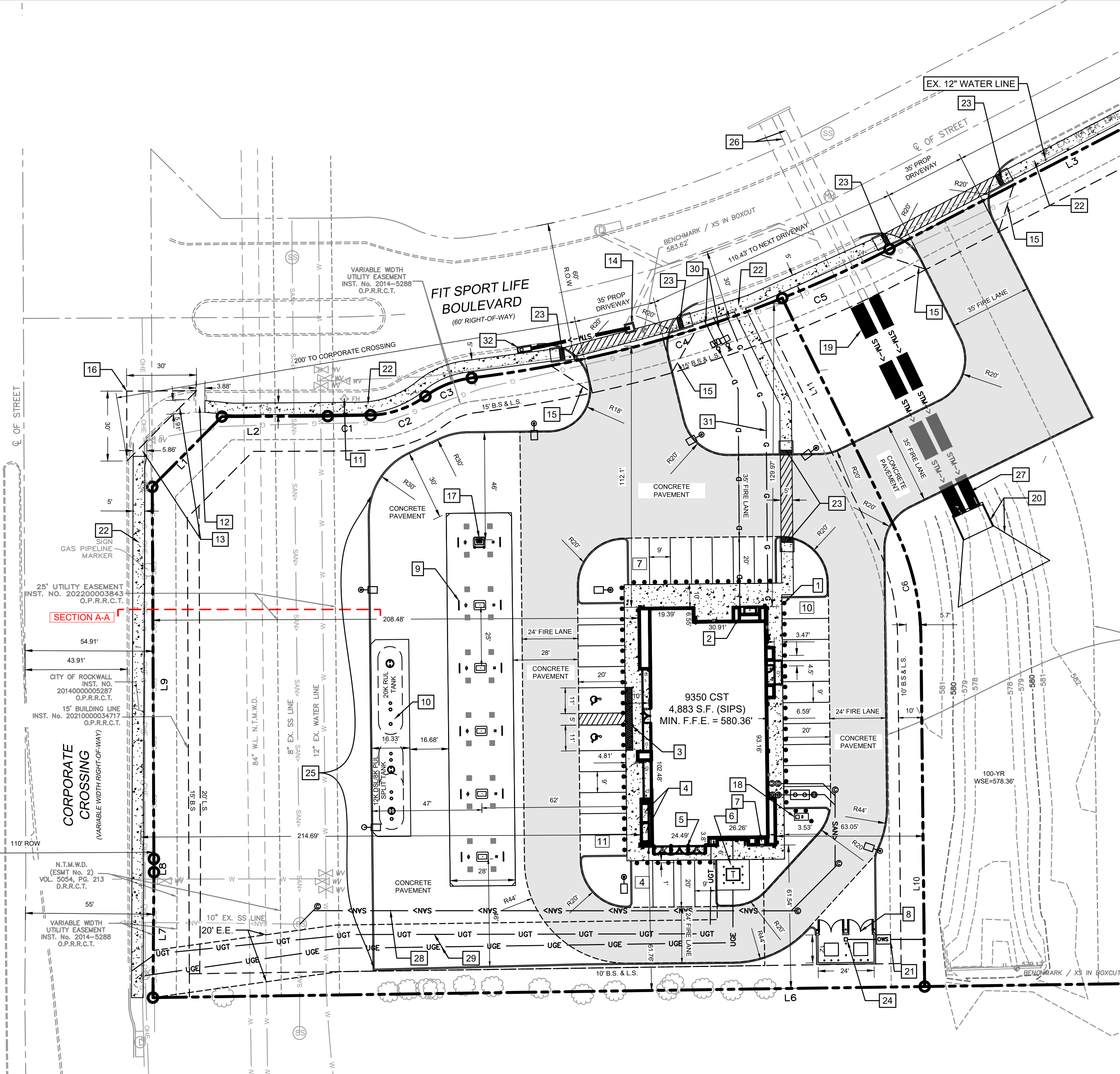
T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
 W: triangle-engr.com | I: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	<b>C-3.0</b>

TX. P.E. FIRM #11525





- ### KEYED NOTES
- PROP. 6" BOLLARDS WITH 4.5" SPACING O.C. (TYP.)
  - PROP. 5X10' PROPANE TANK
  - 3' WIDE ADA DETECTABLE SURFACE
  - ICE MERCHANDISER
  - PROP. DOOR. REFER TO ARCH PLAN FOR DETAIL.
  - BUILDING TRANSFORMER
  - PROP. CO2 CAGE AND NITROGEN CAGE
  - PROP. DUMPSTER ENCLOSURE (24'X12') WITH 8' TALL MASONRY SCREENING WALLS AND METAL GATES. REFER TO ARCH PLANS FOR DETAIL.
  - PROP. OVERHEAD CANOPY W/8 IN-LINE FUEL DISPENSERS. (REFER TO FUEL PLANS FOR DETAILS)
  - PROP. UNDERGROUND STORAGE TANKS. (REFER TO FUEL PLANS FOR DETAILS)
  - EX. FIRE HYDRANT
  - EX. SIDEWALK
  - EX. RAMPS
  - PROP. JUNCTION BOX
  - 15'X15' VISIBILITY TRIANGLE
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LANDSCAPE SETBACK	L.S.
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SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

### BOUNDARY LINE DATA

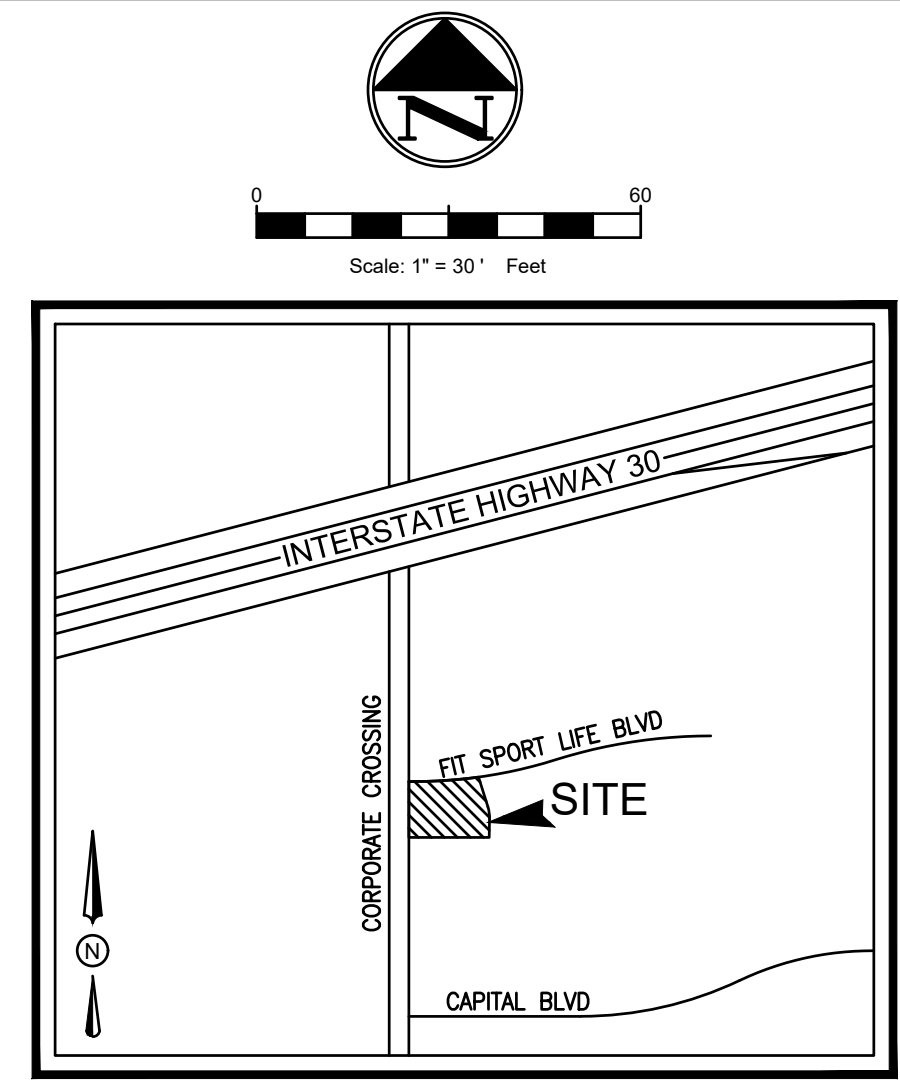
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### EXISTING LEGEND

BOUNDARY LINE	CHAIN LINK FENCE
ADJOINER BOUNDARY LINE	METAL FENCE POST
EASEMENT LINE (AS NOTED)	IRRIGATION CONTROL VALVE
WATER LINE	SEWER CLEAN OUT
SANITARY SEWER LINE	TRANSFORMER
STORM DRAIN LINE (AS NOTED)	ELECTRIC BOX
OVERHEAD ELECTRIC LINE	ELECTRIC METER
SET IRON ROD (AS NOTED)	TELEPHONE SIGNAL BOX
FOUND IRON ROD (AS NOTED)	TRAFFIC SIGNAL LIGHT
"X" CUT FOUND	GAS MARKER
"X" CUT SET	GAS METER
WATER METER	AIR CONDITIONER UNIT
FIRE HYDRANT	
SANITARY SEWER MAN HOLE	
CABLE VAULT	
UTILITY VAULT	
FIBER OPTIC MARKER	
WATER VALVE	
TRAFFIC SIGN	
STORM MAN HOLE	
LIGHT POLE	
POWER POLE	
BENCH MARK	
(CM) CONTROL MONUMENT	
O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS	
D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS	
P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS	

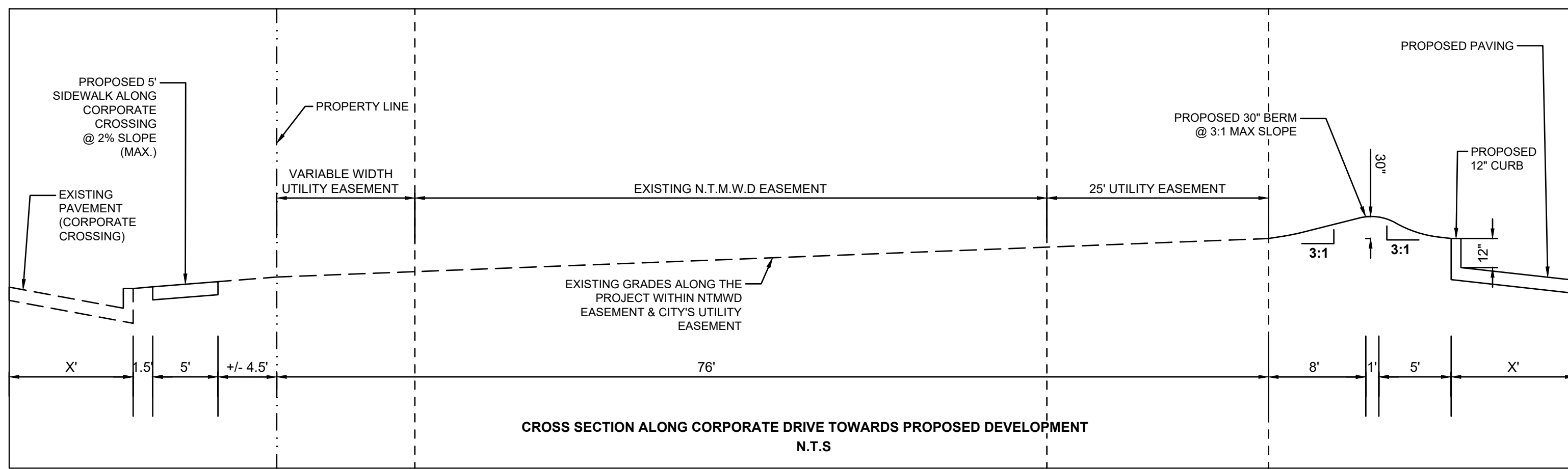


### SITE DATA SUMMARY TABLE

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HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

### SITE LEGEND

CONCRETE CURB	
SAW-CUT LINE	
FENCE	
FIRE LANE	
STRIPING	
PARKING SPACES	
MONUMENT/PYLON SIGN	
WHEEL STOPS	
HANDICAP LOGO	
HANDICAP SIGN	
RAMP	
BOLLARD	
TRAFFIC ARROW	
OIL WATER SEPARATOR	
FIRE HYDRANT	
DUMPSTER	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
SANITARY SEWER DOUBLE CLEANOUT	
SANITARY SEWER SAMPLE PORT	
GREASE TRAP	
DOMESTIC WATER METER	
IRRIGATION METER	
GAS METER	
TRANSFORMER	
LIGHT POLE	
POWER POLE	
UNDERGROUND TELEPHONE LINE	
UNDERGROUND ELECTRIC LINE	
GAS LINE	
SANITARY SEWER LINE	
WATER MAIN	
DOMESTIC WATER LINE	



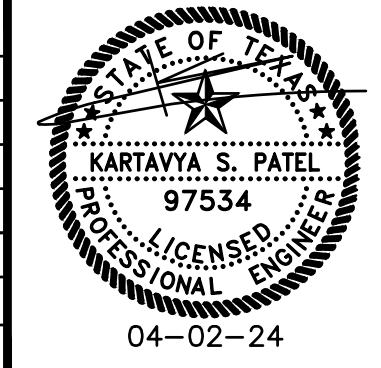
SECTION A-A

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	JA
6	04-02-24	SITE PLAN SUBMITTAL	JA



### BERM CROSS-SECTION

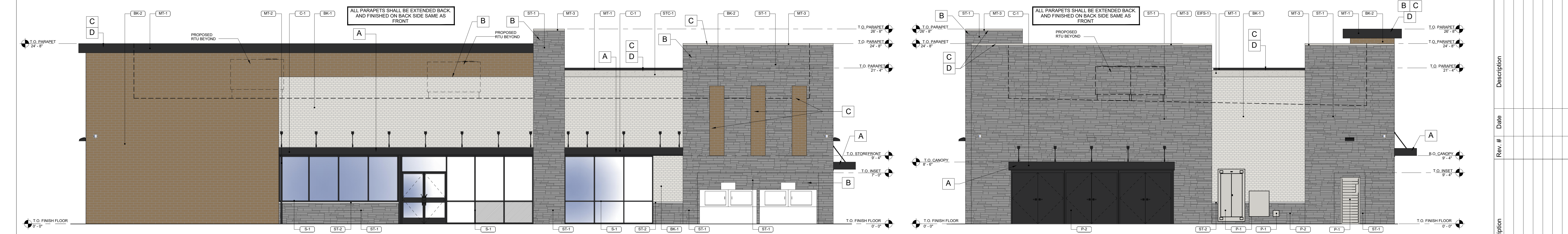
7-ELEVEN  
1200 CORPORATE CROSSING  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS 75032  
FIT SPORT LIFE ADDITION, BLOCK B, LOT 6

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE #1	125-23	C-3.1

TX. P.E. FIRM #11525





**West Elevation Materials**

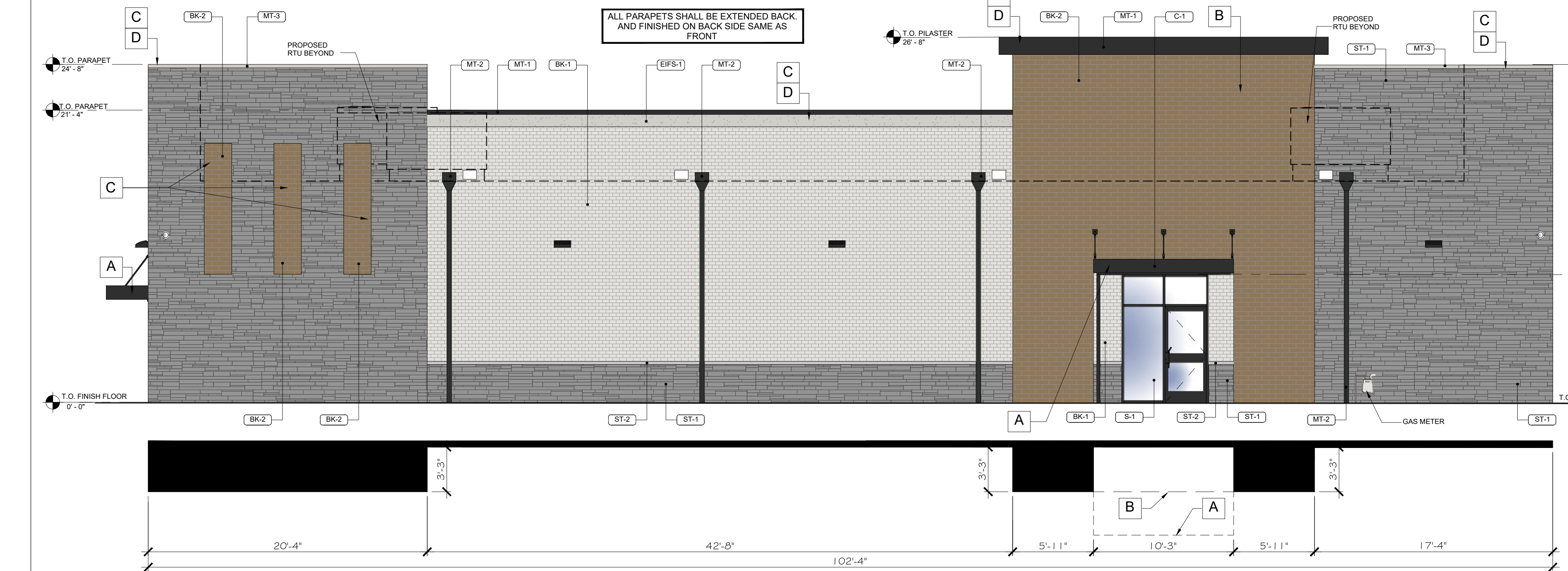
Material	SF	Percent
BK-1	520 sf	25.0%
BK-2	750 sf	35.0%
ST-1	621 sf	30.0%
ST-2	5 sf	0%
MT-1	84 sf	4.0%
MT-3	6 sf	0%
STC-1	15 sf	1.0%
Total	2,041 sf	100%

**South Elevation Materials**

Material	SF	Percent
BK-1	208 sf	13%
BK-2	0 sf	0%
ST-1	990 sf	80%
ST-2	3 sf	0%
MT-1	14 sf	1%
MT-3	11 sf	1%
STC-1	9 sf	0%
Total	1,235 sf	100%

1 ELEVATION - WEST  
3/16" = 1'-0"

2 ELEVATION - SOUTH  
3/16" = 1'-0"



**East Elevation Materials**

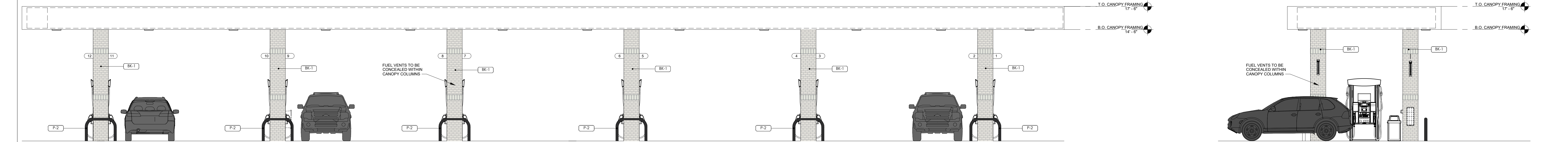
Material	SF	Percent
BK-1	756 sf	32.0%
BK-2	509 sf	21.0%
ST-1	595 sf	25.0%
ST-2	10 sf	0%
MT-1	45 sf	2.0%
MT-3	9 sf	0%
STC-1	40 sf	2.0%
Total	2,364 sf	100%

**North Elevation Materials**

Material	SF	Percent
BK-1	262 sf	22.0%
BK-2	619 sf	48.0%
ST-1	342 sf	26.0%
ST-2	3 sf	0%
MT-1	38 sf	3.0%
MT-3	4 sf	0%
STC-1	15 sf	1.0%
Total	1,303 sf	100%

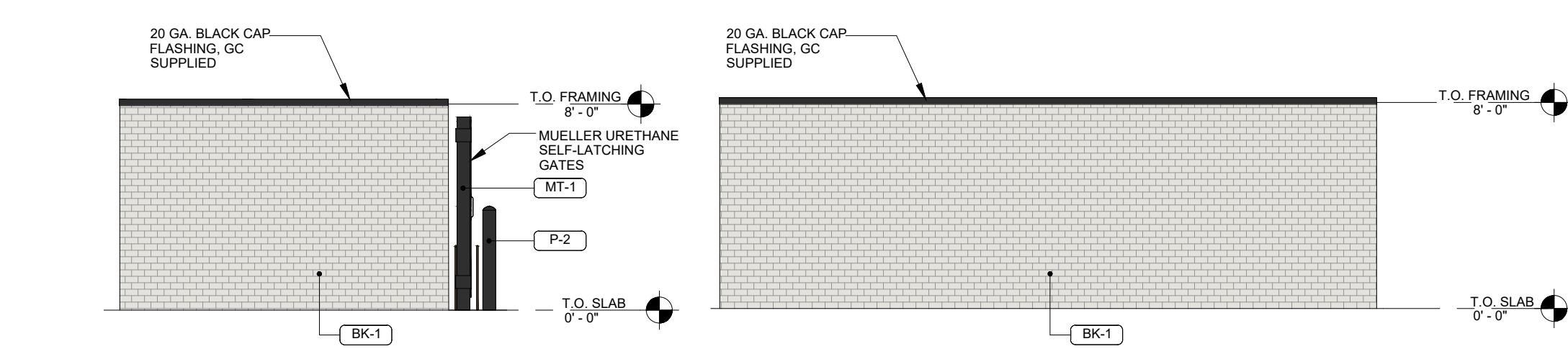
3 ELEVATION - EAST  
3/16" = 1'-0"

4 ELEVATION - NORTH  
3/16" = 1'-0"

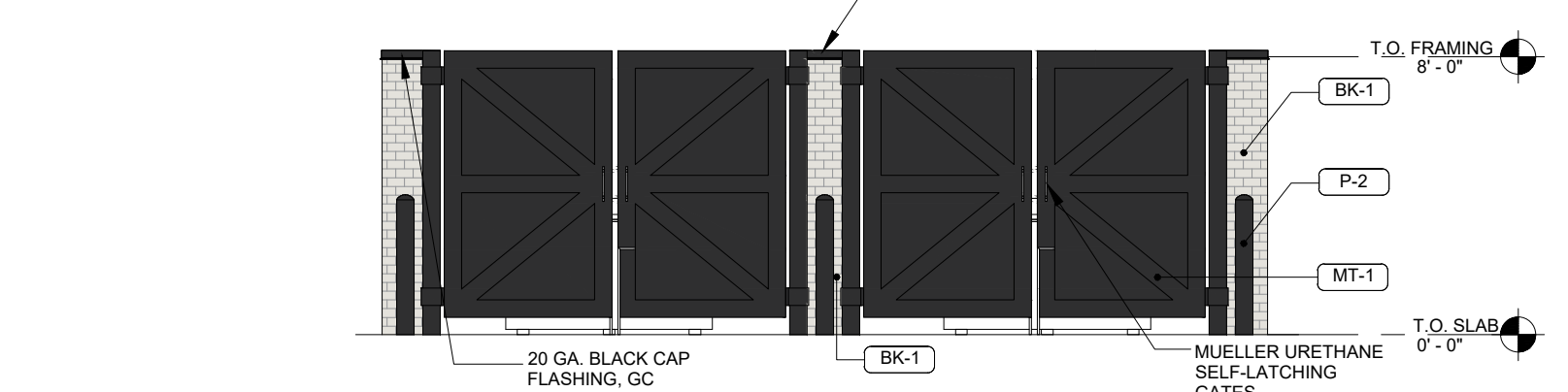


5 GAS CANOPY ELEVATION - FRONT  
3/16" = 1'-0"

6 GAS CANOPY ELEVATION - SIDE  
3/16" = 1'-0"



7 DUMPSTER ENCL. ELEVATION - SIDE  
3/16" = 1'-0"



9 FRONT DUMPSTER ENCL. ELEVATION  
3/16" = 1'-0"

**MATERIAL SCHEDULE**

MT-1 PRE-FINISHED METAL COPING - COAL BLACK	MT-2 PRE-FINISHED SHEET METAL DOWNSPOUT SYSTEM - COAL BLACK	MT-3 PRE-FINISHED METAL COPING - TO BE PAINTED SW 7648 - BIG CHILL	ST-1 NATURAL THIN STONE VENEER QUARRY MILL LEDGESTONE - KIRKLAND	ST-2 STONE SILL CORONADO STONE 800 SERIES TRIM - GRAY	BK-1 THIN BRICK CORONADO STONE - WIRE CUT COLOR: GLACIER
BK-2 THIN BRICK ACME (METROBRICK) COLOR: BROWNSTONE	STC-1 THREE PART STUCCO COLOR: SW 7648 BIG CHILL	P-1 PAINT SHERWIN WILLIAMS - BIG CHILL	P-2 PAINT SHERWIN WILLIAMS - TRICORN BLACK - SW 6258 BOLLARDS, FUEL CANOPY COLUMNS	S-1 KAWNEER 451T VG ALUMINUM STOREFRONT FRAME COLOR: #29 BLACK	C-1 MAPES PRE-FINISHED CANOPY - MATTE BLACK

**REQUIRED ARCHITECTURAL ELEMENTS - ACHIEVED**

- A CANOPIES, AWNINGS, OR PORTICO - CANOPIES
- B RECESSES/PROJECTIONS - TOWER ELEMENTS, OVERHANG SOFFIT ABOVE MAIN STOREFRONT
- C ARCHITECTURAL DETAILS - DIFFERENT CORNICE TREATMENTS, RECESSED DETAILS (VARIED MATERIALS)
- D VARIED ROOF HEIGHTS

**PROJECT CONTACT LIST**

<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TX 75238 214.343.9400 ALEXANDRA.MATIS@DIMENSIONGRP.COM	<b>CIVIL ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DR. ALLEN, TX 75013 469.331.8566 K.PATEL@TRIANGLE-ENGR.COM	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2001 NETWORK BLVD. STE #413 FRISCO, TX 75034 214.889.6503 ERIN.MILELR@SCHAFFERCONSTR.COM
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**PROPOSED FACADE PLAN**

CITY CASE #SP2024-015  
CORPORATE CROSSING & FIT SPORT LIFE BLVD  
FIT SPORT LIFE ADDITION  
BLOCK B, LOT 6  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
DATE PREPARED: 04.03.2024

7-ELEVEN, INC.  
3200 HACKBERRY ROAD, IRVING, TX 75063  
7-ELEVEN #1055880  
SEC OF FIT SPORT BLVD & CORPORATE CROSSING  
ROCKWALL, TX 75087  
PRELIMINARY ELEVATIONS

Rev. # Description Date

Rev. # Date Description

PROTO: CST 9350

Job#: 230-759  
Scale: AS NOTED  
Date: 4/3/24  
Drawn By:  
Checked By:

Documents prepared by the architect are for the specific project and are not to be used for any other project, without the expressed, written consent of the architect. The architect is not responsible for any errors or omissions in the drawings, specifications, or any other documents prepared by the architect. The architect is not responsible for any errors or omissions in the drawings, specifications, or any other documents prepared by the architect.

THE DIMENSION GROUP  
ARCHITECTURAL, CIVIL, ENGINEERING & INTERIOR DESIGN  
10755 SANDHILL RD., SUITE 100  
DALLAS, TEXAS 75238  
TEL: 214-343-9400

PRELIMINARY DRAWING NOT FOR CONSTRUCTION

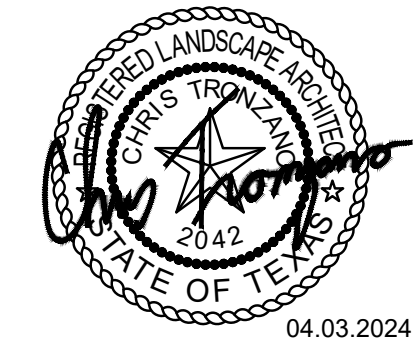
SHEET: P.1  
CST 9350L

PRINTED BY: SRANDALL  
DRAWING NAME: SEI\_XA\_EXTERIOR ELEVATIONS PRELIM 2024.04.03.DWG  
PRINT DATE: Apr 03, 2024 - 2:30pm

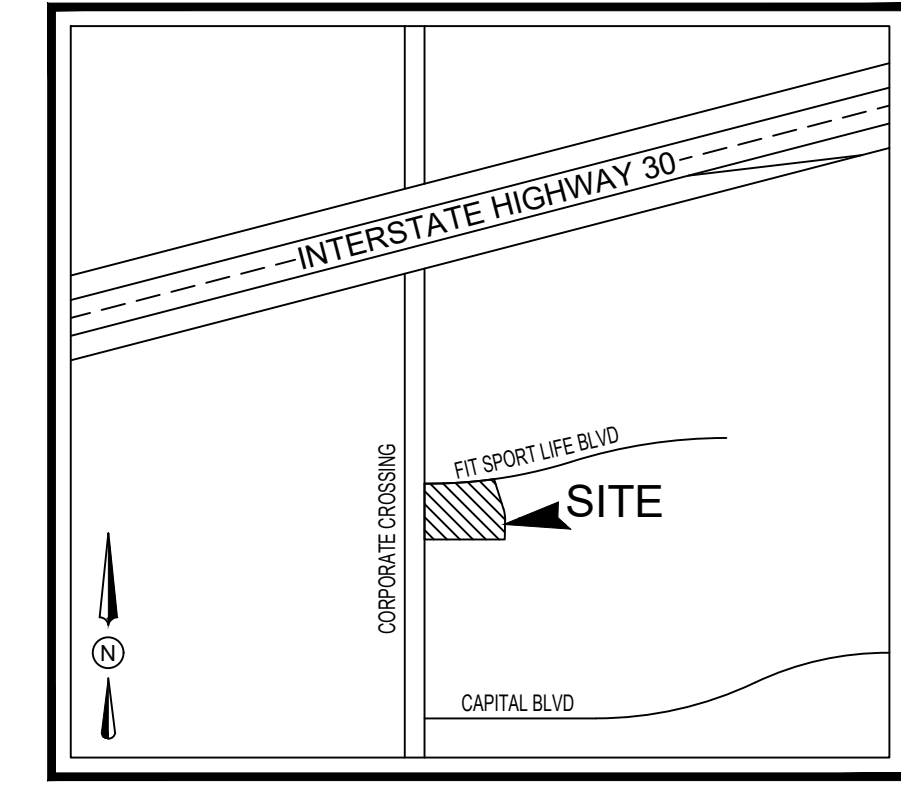




LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



04.03.2024



VICINITY MAP  
N.T.S.

**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

**LANDSCAPE TABULATIONS:**  
I-30 Overlay / Commercial zoning

SITE REQUIREMENTS (site area 84,936 s.f.)  
Requirements: 20% site area to be landscaped

Required	Provided
16,987 s.f. (20%)	35,905 s.f. (42%)

Impervious site area- 49,032 s.f. (58%)

**FRONT YARD REQUIREMENTS**

Requirements: 50% of required landscape must be located in front yard

Required	Provided
8,493 s.f. (50%)	30,744 s.f. (100+%)

**STREET REQUIREMENTS**

Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage. Perimeter screening (30" height berm and 30" ht. evergreen shrubs.)

**FIT SPORT LIFE BLVD. (249 l.f.)**

Required	Provided
(5) canopy trees	(5) canopy trees
(10) accent trees	(10) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

**CORPORATE CROSSING (262 l.f.)**

Required	Provided
(5) canopy trees	(8) canopy trees
(11) accent trees	(11) accent trees
30" ht. berm	30" ht. berm
30" ht. evergreen shrubs	30" ht. evergreen shrubs

**PARKING LOT REQUIREMENTS (32 spaces)**

Required	Provided
(4) canopy trees	(4) canopy trees

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE TCEQ AND THE CITY OF ROCKWALL UCS

**GENERAL LAWN NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

**SOLID SOD NOTES**

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

01 LANDSCAPE PLAN  
SCALE 1"=30'-0"

PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-531-8566	<b>DEVELOPER</b> SCHAFFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com	

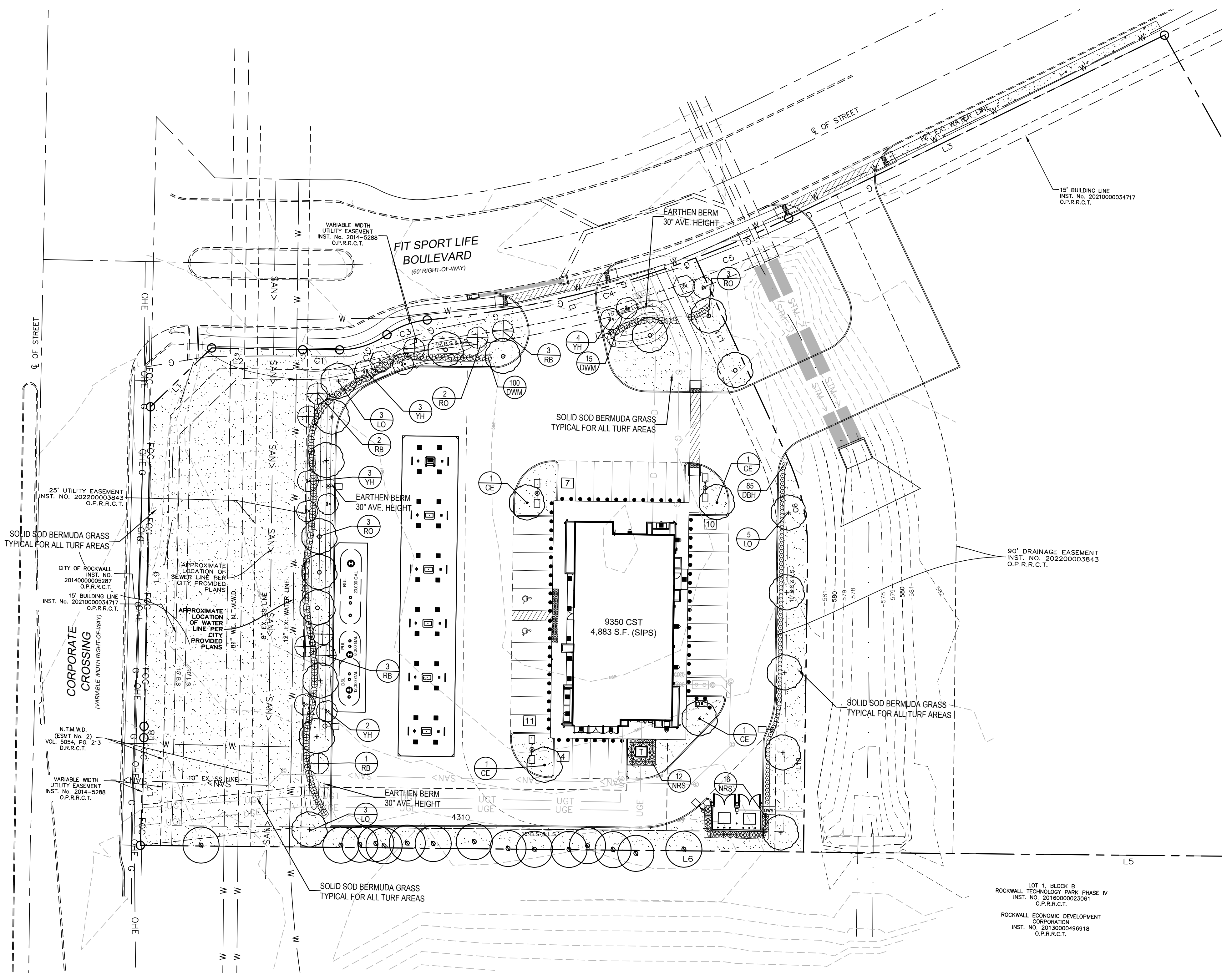
ISSUE:  
FOR APPROVAL 03.14.2024  
CITY COMMENTS 04.03.2024

DATE:  
04.03.2024

SHEET NAME:  
LANDSCAPE PLAN

SHEET NUMBER:

L.2  
CASE NO:  
SP2024-015



LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
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L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
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C5	530'	50.67'	5°28'40"	N 65°23'28" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

SITE DATA SUMMARY TABLE	
SITE ACREAGE:	1.95 AC (84,939 S.F.)
ZONING:	C-COMMERCIAL W/ I-30 OVERLAY DISTRICT
PROPOSED USE:	FUELING STATION W/ CONVENIENCE STORE
BUILDING AREA:	4,883 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	26'-8"
BUILDING COVERAGE:	5.75%
FLOOR AREA RATIO:	0.06
IMPERVIOUS AREA:	48,947 S.F. (57.63%)
PERVIOUS/LANDSCAPE AREA:	35,992 S.F. (42.37%)
REGULAR PARKING REQUIRED:	20 SPACES
1 SP PER 250 S.F.	
REGULAR PARKING PROVIDED:	30 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

**PLANT MATERIAL SCHEDULE**

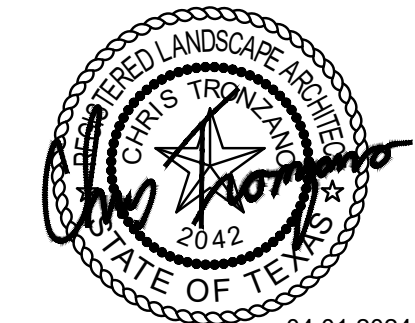
TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	4	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	B&B, 12" ht., 5' spread, 6' clear straight trunk
LO	11	Live Oak	<i>Quercus shumardii</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
RO	8	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
YH	12	Yaupon Holly	<i>Ilex vomitoria</i>	2" cal.	container, 8" ht., 4' spread, tree form
RB	9	Red Bud	<i>Cercis canadensis</i>	2" cal.	container, 8" ht., 4' spread, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DBH	85	Dwarf Burford Holly	<i>Ilex cornuta nana</i>	7 gal.	container, 36" ht., 30" spread
DWM	115	Dwarf Wax Myrtle	<i>Myrica pusilla</i>	7 gal.	container, 36" ht., 30" spread
NRS	28	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon '419'</i>		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



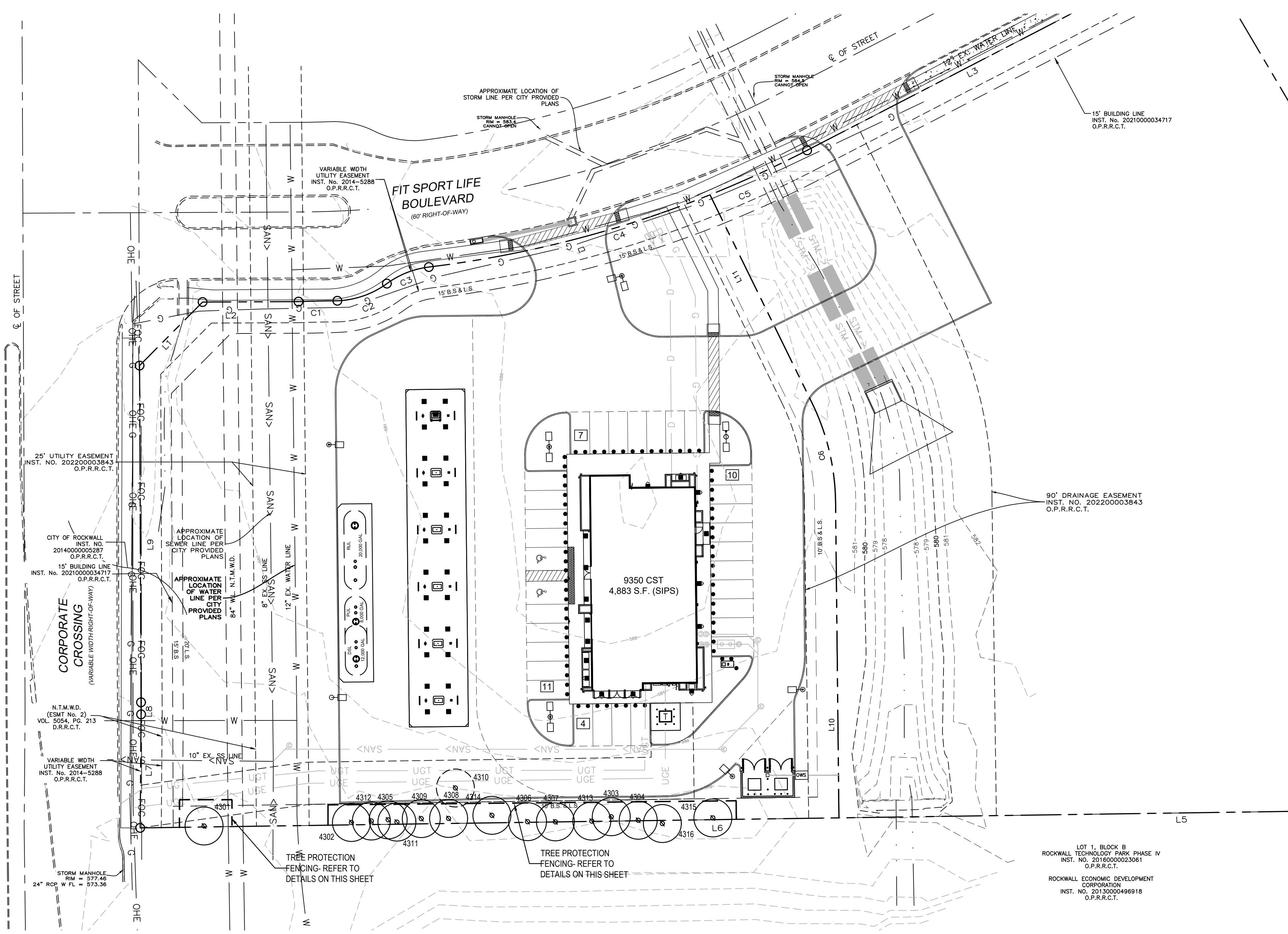


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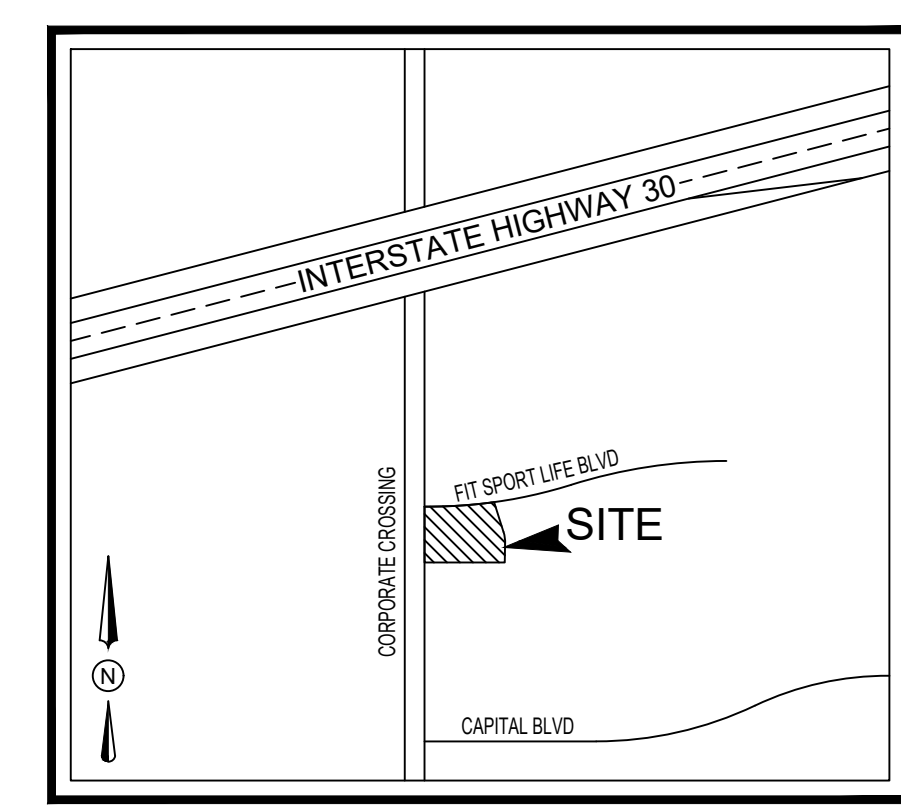
04.01.2024

**7-ELEVEN AT CORPORATE CROSSING**  
FIT SPORT LIFE BLVD. / CORPORATE CROSSING  
ROCKWALL, TEXAS

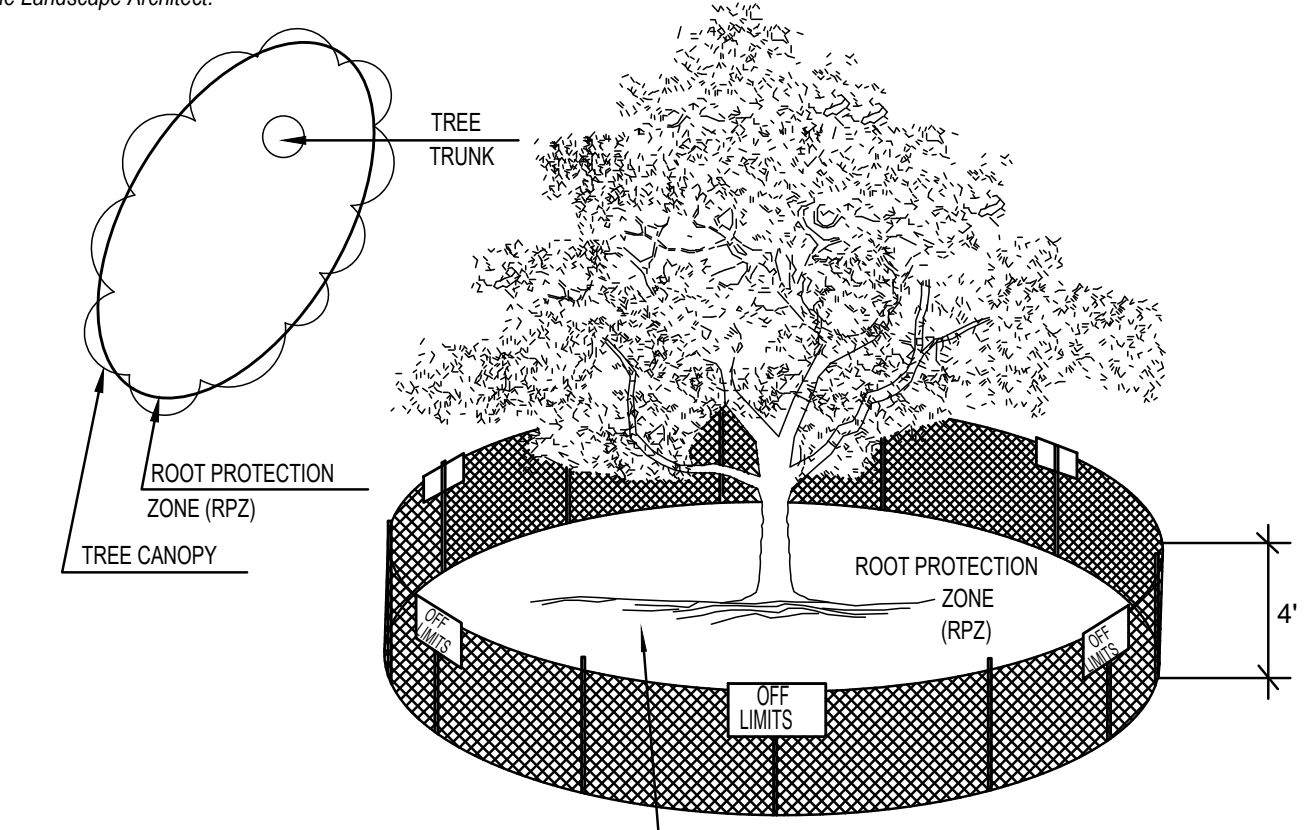


**EXISTING TREE NOTES**

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.



VICINITY MAP  
N.T.S.

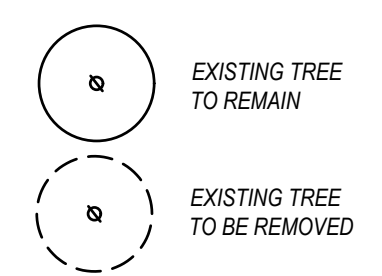


01 TREE PROTECTION FENCE A  
NOT TO SCALE

LINE NO.	BEARING	DISTANCE
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**EXISTING TREE LEGEND**



**TREE SURVEY FIELD DATA**

NO.	SIZE (IN DIA)	SPECIES (COMMON NAME)	PROTECTED/ UNPROTECTED	REMARKS
4301	36	WILLOW	UNPROTECTED	TO REMAIN
4302	6	HACKBERRY	UNPROTECTED	TO REMAIN
4303	6	HACKBERRY	UNPROTECTED	TO REMAIN
4304	12	HACKBERRY	UNPROTECTED	TO REMAIN
4305	7	HACKBERRY	UNPROTECTED	TO REMAIN
4306	16	HACKBERRY	UNPROTECTED	TO REMAIN
4307	12	HACKBERRY	UNPROTECTED	TO REMAIN
4308	7	HACKBERRY	UNPROTECTED	TO REMAIN
4309	7	HACKBERRY	UNPROTECTED	TO REMAIN
4310	6	CEDAR	UNPROTECTED	TO BE REMOVED
4311	7	HACKBERRY	UNPROTECTED	TO REMAIN
4312	14	HACKBERRY	UNPROTECTED	TO REMAIN
4313	6	HACKBERRY	UNPROTECTED	TO REMAIN
4314	8	HACKBERRY	UNPROTECTED	TO REMAIN
4315	14	HACKBERRY	UNPROTECTED	TO REMAIN
4316	14	HACKBERRY	UNPROTECTED	TO REMAIN

**01 TREE PRESERVATION PLAN**



**ISSUE:**  
FOR APPROVAL 04.01.2024

**DATE:**  
04.01.2024

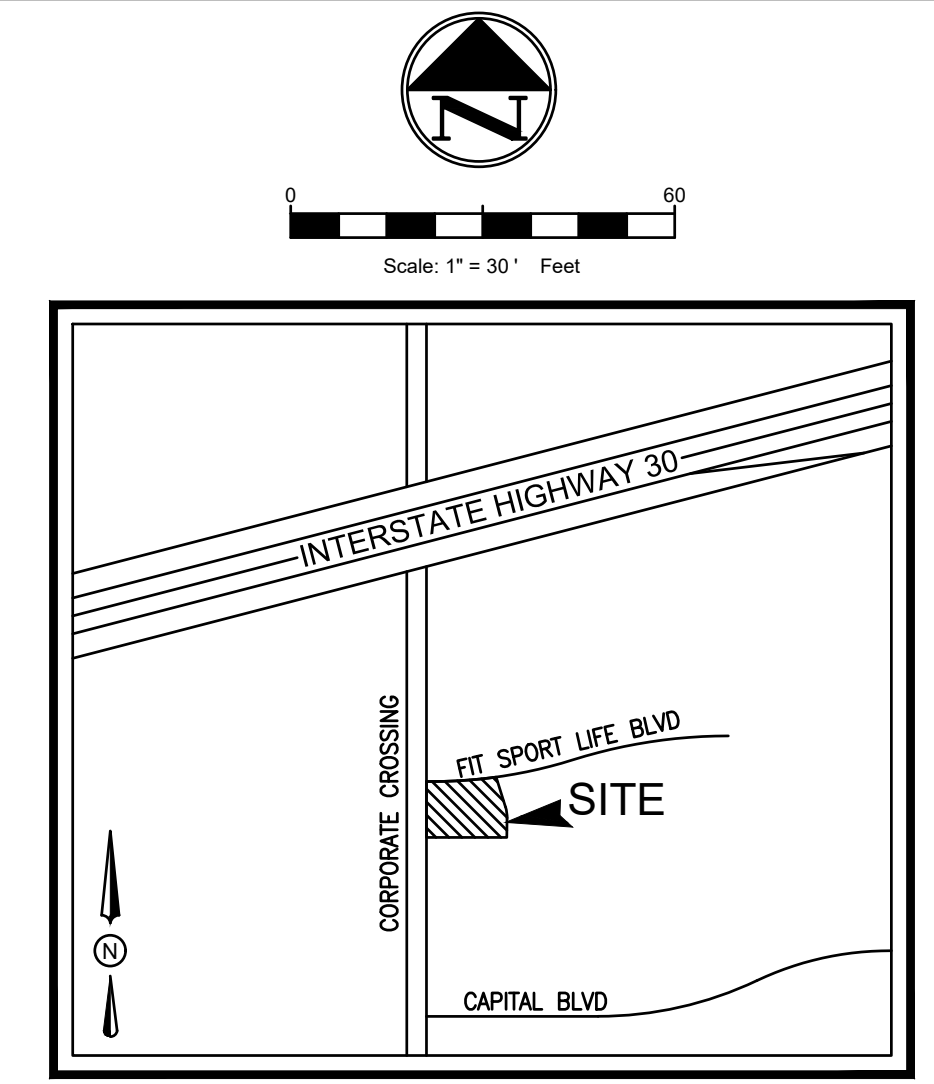
**SHEET NAME:**  
LANDSCAPE PLAN

**SHEET NUMBER:**

PROJECT CONTACT LIST	
<b>ENGINEER</b> TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-531-8566	<b>DEVELOPER</b> SCHAFER CONSTRUCTION 2601 NETWORK BLVD., SUITE 413 FRISCO, TEXAS 75034 ERIN MILLER PHONE: 214-888-6923 EMAIL: emiller@schafferconst.com
<b>SURVEYOR</b> TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: GRAYSON CEBALLOS PHONE: 469-784-9321	<b>ARCHITECT</b> THE DIMENSION GROUP 10755 SANDHILL RD. DALLAS, TEXAS 75238 SARAH RANDALL 214-343-9400
<b>OWNER</b> STRUCTURED REA-ROCKWALL LAND LLC 3104 E CAMELBACK RD, STE 2387 PHOENIX, ARIZONA 85016 CONOR KELTY PHONE: 480-856-8808 EMAIL: conork@structuredrea.com	

**L.1**  
**CASE NO:**  
**SP2024-015**





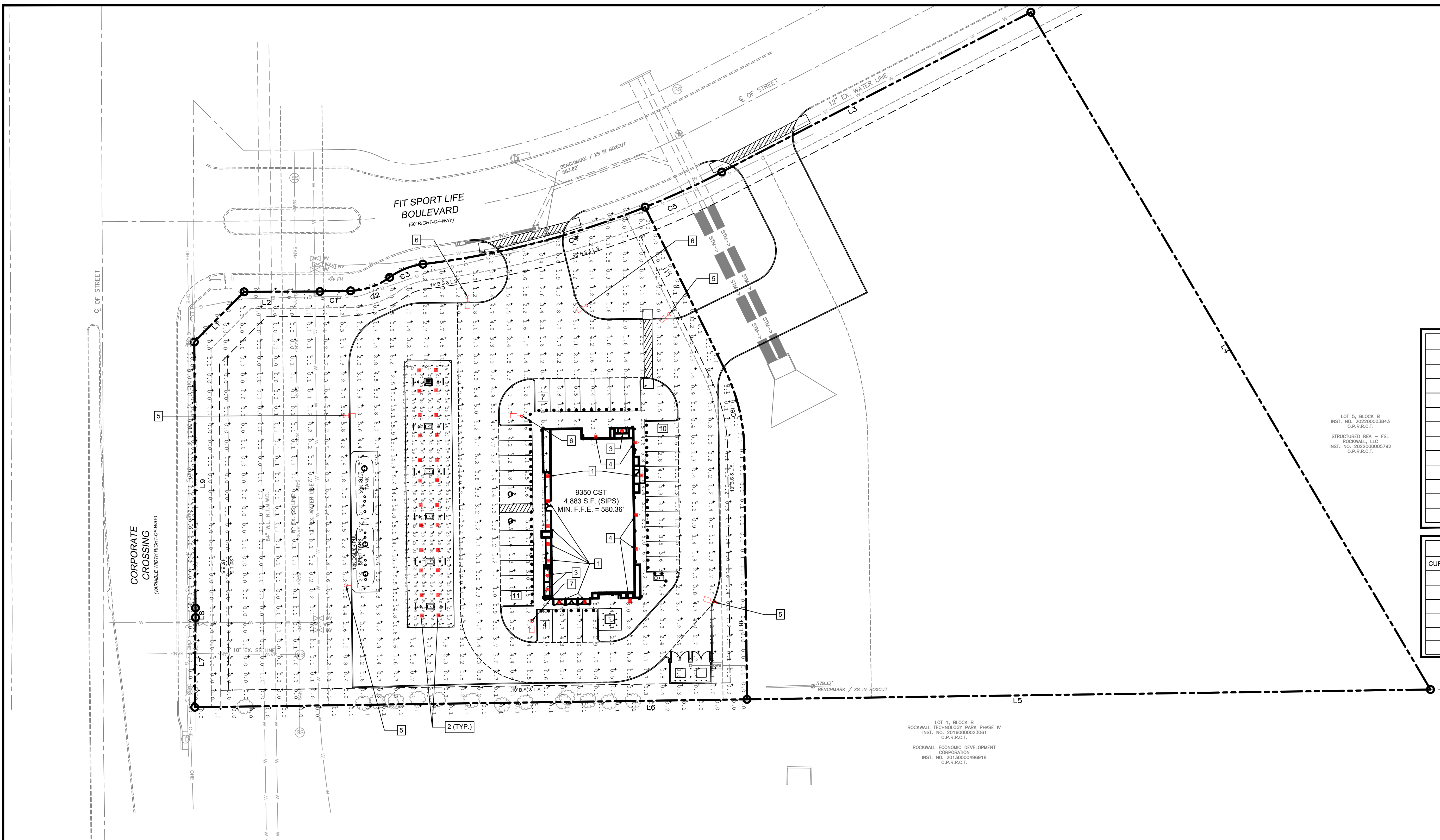
VICINITY MAP  
N.T.S.

BOUNDARY LINE DATA		
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LOT 5, BLOCK B  
INST. NO. 20220003843  
O.P.R.R.C.T.  
STRUCTURED REA - FSL  
ROCKWALL, LLC  
INST. NO. 20220005792  
O.P.R.R.C.T.

LOT 1, BLOCK B  
ROCKWALL TECHNOLOGY PARK PHASE IV  
INST. NO. 201600023061  
O.P.R.R.C.T.  
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
INST. NO. 2013000496918  
O.P.R.R.C.T.



Luminaire Schedule									
Number	Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating
1	[Symbol]	8	CPY-F-4L	Single	1.000	4590	31	CPY250-C-4L-57K7-F-UL-DM-WH-HZ	B2-U0-G1
2	[Symbol]	24	CPY-F-8L	Single	1.000	8475	53	CPY250-C-8L-57K7-F-UL-DM-WH-HZ	B3-U0-G1
3	[Symbol]	3	D2	SINGLE	1.000	N.A.	19	CDR6-B-ALS-9ACK-10V5-WH-UNV	B1-U2-G0
4	[Symbol]	5	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BK	B1-U0-G1
5	[Symbol]	4	XSPMD-3ME-BLS	SINGLE	1.000	8425	95	XSPMD-D-HT-3ME-12L-57K7-UL-BK-N w_XA-SP1BLS	B1-U0-G2
6	[Symbol]	3	XSPMD-4ME-BLS	SINGLE	1.000	8675	92	XSPMD-D-HT-4ME-12L-57K7-UL-BK-N w_XA-SP1BLS	B1-U0-G2
7	[Symbol]	1	XSPMD-2ME-BLS	SINGLE	1.000	9150	135	XSPMD-D-HT-2ME-12L-57K7-UL-BK-N w_XA-SP1BLS	B1-U0-G2

Calculation Summary (Footcandles calculated using LMF: 1.00)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	2.34	18.9	0.0	N.A.	N.A.
GAS CANOPY	Fc	28.32	32	17	1.67	1.88
PROPERTY LINE	Fc	0.05	0.2	0.0	N.A.	N.A.
PAVED AREA	Fc	2.72	12.1	0.2	13.60	60.50

**Pole Schedule**  
(8) SSS-4-11-15-CW-BS-OT-N-BK (15' X 4" X 11ga STEEL SQUARE POLE)  
Proposed poles meet 140 MPH sustained winds.

**Additional Equipment:**  
(8) PD-1H4BK (Single Head Tenon)  
(8) XA-SP1BLS (Back Light Shield)

**Lighting Requirements:**  
Paved Area: Maximum of 20fc  
Gas Canopy: Maximum of 35fc  
Property Line: .2fc Maximum

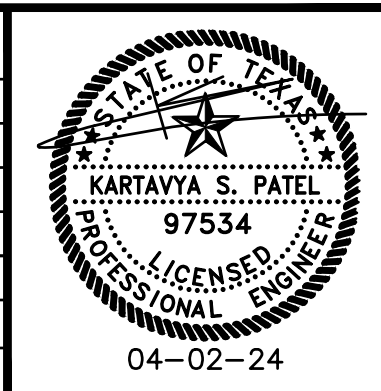
\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN  
DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	09/07/23	1st SITE PLAN	EB
2	10/13/23	35' WIDE DRIVEWAYS	EB
3	11/08/23	2nd SITE PLAN	EB
4	02/19/24	REVISED DUMPSTER PAD	EB
5	03-15-24	SITE PLAN SUBMITTAL	JA
6	04-02-24	SITE PLAN SUBMITTAL	JA



**PHOTOMETRIC PLAN**  
**7-ELEVEN**  
**1200 CORPORATE CROSSING**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS 75032**  
**FIT SPORT LIFE ADDITION, BLOCK B, LOT 6**

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com  
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	02/19/24	SCALE BAR	125-23	<b>C-3.5</b>

TX. P.E. FIRM #11525